



# Agenda Report

2725 Judge Fran Jamieson  
Way  
Viera, FL 32940

## Consent

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F.4.

1/14/2025

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### Subject:

Waiver Request, Re: Waiver of Wall Requirement for North Hill Development LLC Site Plan (24SP00018)  
District 1

### Fiscal Impact:

None

### Dept/Office:

Planning and Development

### Requested Action:

The applicant is requesting that the Board of County Commissioners grant a waiver of Section 62-3202(h)(10), which requires a 6-foot masonry or solid wall when commercial developments within a BU-1, BU-2, or Industrial zoning classification are adjacent to residential zoning to allow fencing and vegetation. The approval is subject to the criteria, design, and uses depicted in approved site plan 24SP00018 and maintaining the proposed fencing and vegetation along the northern property line.

### Summary Explanation and Background:

Section 62-3202(h)(10) stipulates that site plans within BU-1, BU-2, or Industrial zoning classifications shall construct a minimum of a six-foot high masonry or solid wall, including, but not limited to, concrete block walls, pre-cast (solid) walls, or foam core/steel support with stucco finish, when the subject property abuts a residential zoning classification.

In this case, the subject property abuts a portion of wetlands that is being preserved to the north and west of the development site. Residential properties abut the subject site to the north, but the area of the large residential tracts to the north which are adjacent to the development site are encumbered by an existing area of wetlands.

The applicant asserts that the required wall would need to be installed within a portion of the wetland that is being preserved (along the north boundary which would also be +/- 2 feet below the proposed parking area). The requested waiver would allow for replacement of the wall with an opaque wood fence that would be adjacent to and approximately at the same elevation as the parking allowing for easy maintenance and/or replacement without impacting wetlands.

The Brevard County Natural Resource Management Department is in support of the waiver, noting that the waiver will allow for greater tree preservation and limited disturbance to the wetlands onsite and adjacent to the property. Existing fencing and mature vegetation provide adequate buffering, and constructing a masonry wall will negatively affect the existing landscape screening along the western boundary of the subject

property.

Staff has not granted approval of the waiver and defers to the Board of County Commissioners. Board approval of the waiver is subject to the criteria depicted in the site plan 24SP00018 and maintaining the proposed fencing and vegetation along the northern property line. Any future development, redevelopment, or alteration of the subject property that modifies the aforementioned site plan or reduces the vegetative buffer will void the wall waiver.

**Clerk to the Board Instructions:**



Kimberly Powell, Clerk to the Board, 400 South Street • P.O. Box 999, Titusville, Florida 32781-0999

Telephone: (321) 637-2001  
Fax: (321) 264-6972  
Kimberly.Powell@brevardclerk.us

January 15, 2025

**M E M O R A N D U M**

**TO:** Tad Calkins, Planning and Development Director

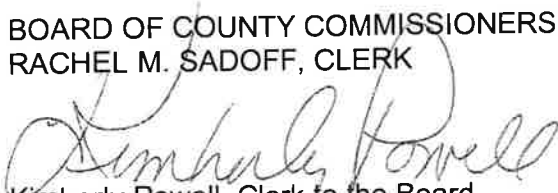
**RE:** Item F.4., Waiver Request for Waiver of Wall Requirement for North Hill Development LLC  
Site Plan (24SP00018)

The Board of County Commissioners, in regular session on January 14, 2025, granted a waiver of Section 62-3202(h)(10), which requires a 6-foot masonry or solid wall when commercial developments within a BU-1, BU-2, or Industrial zoning classification are adjacent to residential zoning to allow fencing and vegetation, approval is subject to the criteria, design, and uses depicted in approved site plan 24SP00018 and maintaining the proposed fencing and vegetation along the northern property line.

Your continued cooperation is always appreciated.

Sincerely,

BOARD OF COUNTY COMMISSIONERS  
RACHEL M. SADOFF, CLERK

  
Kimberly Powell, Clerk to the Board

/kl



BOARD OF COUNTY COMMISSIONERS

**Planning and Development  
Planning and Zoning**  
2725 Judge Fran Jamieson Way  
Building A, Room 114  
Viera, Florida 32940  
(321) 633-2070 Phone

### LAND DEVELOPMENT WAIVER APPLICATION

This form should be used for all waiver requests or appeals associated with the Code of Ordinances, Section 62, as it relates to Subdivisions, Minor Subdivisions, and Site Plans. Fees for Waivers are \$775.00.

| Office Use Only                  |                 |            |
|----------------------------------|-----------------|------------|
| Request Date                     | Fees            | Board Date |
| Original Project Number          | Waiver Number   |            |
| Coordinator Initials             | Reference Files |            |
| County Manager/Designee Approval |                 |            |

**APPLICATION TYPE:** ☐ Subdivision Waiver ☐ Site Plan Waiver ☒ Other

Wall Waiver

If other, please indicate

**Tax Parcel Identification:**

|          |       |         |             |              |     |
|----------|-------|---------|-------------|--------------|-----|
| 24       | 36    | 31      | 00          | 52           |     |
| Township | Range | Section | Subdivision | Block/Parcel | Lot |

**Tax Account Numbers** (list all) 2423940

North Hill Development

Project Name

Andrew Levin, North Hill Development LLC

Property Owner

**Site Address:**

4750 W Commercial Blvd Tamarac FL 33319  
Street City State Zip Code

**CORRESPONDENCE TO BE PROVIDED TO APPLICANT AT THE ADDRESS BELOW:**

David W. Bassford, P.E. MBV Engineering, Inc.  
Applicant Name Company  
1250 W. Eau Gallie Blvd, Ste H Melbourne FL 32935  
Street City State Zip Code  
321-253-1510 321-253-0911 davidb@mbveng.com  
Phone Number Cell Phone Number Fax Number Email Address

**ENGINEER/CONTRACTOR (if different from applicant)**

Same as above  
Company Engineer or Project Manager  
Street City State Zip Code  
Phone Number Cell Phone Number Fax Number Email Address

**DESCRIPTION OF WAIVER REQUEST AND CODE SECTION:**

Waiver request to eliminate six foot high masonry or solid wall per code 62-3232(h)(10)

  
Owner/Applicant Signature

Andrew Levin  
Print Name

If you wish to appeal any decision made by the county staff on the waiver, you may request the Board of County Commissioners to make a determination. The Board's decision approving or disapproving the waiver or interpretation is final.

## **LAND DEVELOPMENT APPLICATION DOCUMENT SUBMITTAL REQUIREMENTS**

Waivers for Site Plans or Subdivisions require an application, waiver criteria (listed below), an 8 ½-inch x 11 inch vicinity map, and a fee of \$775.00.

### **WAIVER CRITERIA FOR SUBDIVISIONS AN SITE PLANS**

For a waiver to be considered and approved by staff, your request must comply with all of the following criteria. Please explain, in detail, how your request meets the following conditions.

1. The particular physical conditions, shape, or topography of the specific property involved causes an undue hardship to the applicant if the strict letter of the code is carried out.

The required wall would need to be installed within the portion of the wetland that is being preserved (along the north boundary which would also be +/-2 feet below the proposed parking area. The requested waiver would allow for replacement of the wall with an opaque wood fence that would be adjacent to and at approximately the same elevation as the parking allowing for easy maintenance and/or replacement without impacting the wetlands.

2. The granting of the waiver will not be injurious to the other adjacent property.

The granting of the waiver allows for maintenance of the existing vegetation and wetland, specifically during the construction and/or maintenance of the wall.

3. The conditions, upon which a request for waivers are based, are particular to the property for which the waiver is sought and are not generally applicable to other property and do not result from actions of the applicant.

Allows for preservation of wetlands.

4. The waiver is consistent with the intent and purpose of the county zoning regulations, the county land use plan, and the requirements of this article.

The preservation of the wetlands, existing trees and vegetation in combination with the 6-foot wood fence provides sufficient screening to single family residences.

5. Delays attributed to state or federal permits.

N/A

6. Natural disasters.

N/A

7. County development engineer and affected agencies concur that an undue hardship was placed on the applicant. (To be filled out by county staff)









# LANDSCAPE CALCULATIONS FOR NORTH HILL COMMERCIAL DEVELOPMENT:

**OWNER:** COMMERCIAL  
**ZONE:** SITE ALAYS 5F (5W ACRES)  
**AREA OF ALTERNATION:** 19,593 SF / 300 SF FORRESTED WETLANDS UNDISTURBED.  
**CANOPY PRESERVATION REQUIREMENTS:**  
 20% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
 30% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
 40% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
 50% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
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 80% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
 90% OF THE AREA OF ALTERNATION IS REQUIRED FOR PLANTING ORGANS  
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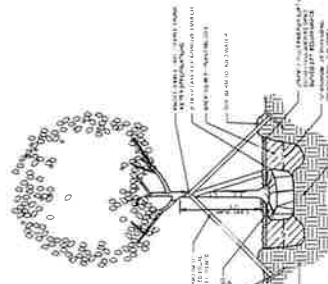
**PLANTING REQUIREMENTS:**  
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## TREE PLANTING & GUYING DETAIL

N.T.S.

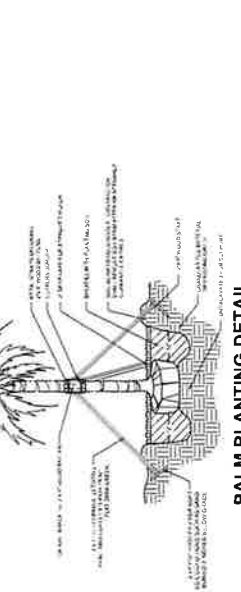


# North Hill Commercial

| PLANT MATERIAL | COMMON NAME | SCIENTIFIC NAME | REMARKS | QUANTITY | UNIT |
|----------------|-------------|-----------------|---------|----------|------|
| 1              | Small Tree  | ...             | ...     | ...      | ...  |
| 2              | Medium Tree | ...             | ...     | ...      | ...  |
| 3              | Large Tree  | ...             | ...     | ...      | ...  |
| 4              | Small Tree  | ...             | ...     | ...      | ...  |
| 5              | Medium Tree | ...             | ...     | ...      | ...  |
| 6              | Large Tree  | ...             | ...     | ...      | ...  |
| 7              | Small Tree  | ...             | ...     | ...      | ...  |
| 8              | Medium Tree | ...             | ...     | ...      | ...  |
| 9              | Large Tree  | ...             | ...     | ...      | ...  |
| 10             | Small Tree  | ...             | ...     | ...      | ...  |
| 11             | Medium Tree | ...             | ...     | ...      | ...  |
| 12             | Large Tree  | ...             | ...     | ...      | ...  |
| 13             | Small Tree  | ...             | ...     | ...      | ...  |
| 14             | Medium Tree | ...             | ...     | ...      | ...  |
| 15             | Large Tree  | ...             | ...     | ...      | ...  |
| 16             | Small Tree  | ...             | ...     | ...      | ...  |
| 17             | Medium Tree | ...             | ...     | ...      | ...  |
| 18             | Large Tree  | ...             | ...     | ...      | ...  |
| 19             | Small Tree  | ...             | ...     | ...      | ...  |
| 20             | Medium Tree | ...             | ...     | ...      | ...  |
| 21             | Large Tree  | ...             | ...     | ...      | ...  |
| 22             | Small Tree  | ...             | ...     | ...      | ...  |
| 23             | Medium Tree | ...             | ...     | ...      | ...  |
| 24             | Large Tree  | ...             | ...     | ...      | ...  |
| 25             | Small Tree  | ...             | ...     | ...      | ...  |
| 26             | Medium Tree | ...             | ...     | ...      | ...  |
| 27             | Large Tree  | ...             | ...     | ...      | ...  |
| 28             | Small Tree  | ...             | ...     | ...      | ...  |
| 29             | Medium Tree | ...             | ...     | ...      | ...  |
| 30             | Large Tree  | ...             | ...     | ...      | ...  |

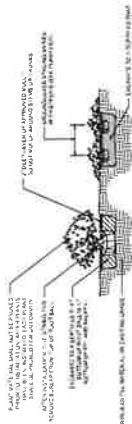
| REQUIREMENTS FOR PLANT MATERIAL USED TO MEET REQUIREMENTS | ROOT ZONE REQUIREMENT (RZ) |
|-----------------------------------------------------------|----------------------------|
| SMALL SPECIES TREES: 8 FT x 2 SPD x 1' CAL MIN            | 2 FEET                     |
| MEDIUM SPECIES TREES: 12 FT x 2 SPD x 2' CAL MIN          | 4 FEET                     |
| LARGE SPECIES TREES: 12 FT x 2 SPD x 2' CAL MIN           | 6 FEET                     |

**NOTES TO CONTRACTOR:**  
 1. CONTRACTOR SHALL VERIFY WITH THE LANDSCAPE ARCHITECT THAT THE SITE HAS THE MOST CURRENT LANDSCAPE PLANS PRIOR TO COMMENCEMENT OF PLANTING.  
 2. IRRIGATION WILL BE REQUIRED FOR THE 500 AREAS AS WELL AS THE PLANTING BEDS.



## SHRUB & GROUND COVER PLANTING DETAIL

N.T.S.



# BREVARD COUNTY NATURAL RESOURCES MANAGEMENT (NRM) STANDARD NOTES

- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-433 OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THIS SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (1) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (2) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (3) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (4) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (5) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (6) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (7) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (8) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.
- THE SITE PLANS DIVISION PLAN WILL COMPLY WITH SEC. 62-434 (9) OF THE BREVARD COUNTY NATURAL RESOURCES MANAGEMENT ACT, CHAPTER 62, F.S., REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE PLANT SPECIES.

LANDSCAPE SPECIFICATIONS:

- 1.00 GENERAL
- 1.01 The Contractor is reminded that the General Conditions and / or Special Conditions of this contract shall govern the interpretation of the Specifications. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
- 2.00 SCOPE OF WORK
- 2.01 The work of this Section shall include all labor, materials, equipment, appliances, and accessories necessary for the complete performance of all excavation, grading, planting and backfill work in accordance with these Specifications and the Contract Drawing. Without restricting the generality of the foregoing, the items listed below and similar items shown on the Contract Drawings shall constitute the work of this Section
- A. Finish grading and final site preparation of all areas to be landscaped
- B. Furnishing and incorporating fertilizer and other soil amendments.
- C. Furnishing plant materials and grass materials and installing same.
- D. Furnishing and placing Planting Mixture and other miscellaneous items to complete the work.
- E. Replacement of unsatisfactory plant material.
- F. Clean-up.
- 3.00 SITE PREPARATION
- 3.01 The Contractor shall provide final grading and final preparation of all areas to be landscaped to include 2" of finish grade. This will mean grading and watering of all areas in order to provide a firm, stable base for the plants. The Contractor shall be responsible for final grading, which is the top 2" of the site.
- 4.00 MATERIALS
- 4.01 Plant materials shall be furnished by the Landscape Contractor and as indicated on the plans.
- A. All plant materials shall meet or exceed the following standards
- A. Plant species and sizes shall conform with plant list. Nomenclature shall conform to Standardized plant names, in accordance with the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- B. All plants shall be nursery grown or as stipulated herein and shall comply with all required inspections, grading standards and plant regulations as set forth in the Florida Department of Agriculture, Grades and Standards for Nursery Plants. Including revisions. Ensure that plant materials are shipped with tags stating the botanical and common name of the plant.
- C. The minimum grade for all trees, palms, shrubs, and groundcovers shall be Florida No. 1 and shall meet or exceed the size and quality standards of the American Association of Nursery Stock, sponsored by the American Association of Nurserymen, latest edition, unless otherwise indicated and all plants shall be sound, healthy and vigorous, well-branched and densely branched when in full. They shall have healthy, well-developed root systems and shall be free from all diseases, insect damage or injury. Florida Fancy material shall be provided where plant list specifies "specimens".
- D. The determining measurements for trees shall be the height and spread, and shall be measured from the top of the plant to the root crown, not to include the immediate terminal growth. Their width shall be measured across the plants in their normal position.
- E. Plants larger in size than those specified may be used with approval of the Landscape Architect at no additional cost to the Owner. If the use of the larger plants is approved, the ball of earth or spread of roots shall be increased proportionately.
- F. Container grown plants (the same quality as balled and burlapped plants may be substituted in lieu thereof. Plants grown in containers shall be delivered and remain in the containers in a shady location until planted. Plants in containers shall be watered prior to transportation and shall be kept moist until planted. The container must be removed prior to planting, with care as not to injure the roots
- G. Grass materials shall consist of the following:
1. Sod: Sod sod shall be as indicated on the drawings. Sod must be strongly rooted and free of pernicious weeds. Now to a height, not to exceed 1 1/2" before lifting. Lats shall have a uniform thickness of 1 inch to 1 1/2 inches. Sod containing noxious weeds, or other common unweeded species (if any) shall be rejected and replaced with acceptable material.
2. Seeding: Seeding shall be done as soon as practical following finish grading. The day before seed installation, the contractor shall make 50lb Muriatic acid per 1000 sq ft of area to be seeded. Sod. Ground shall be leveled with the back of a rake and sod laid with joints closely butted so that no voids are visible, keeping surface of sod flush with the adjoining seeded areas and or pavements. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Hand tamp to ensure contact with subgrade, and water thoroughly with a fine spray immediately after laying.

- b) After sod is in place, it shall be top dressed with sufficient sharp, clean 60% sand/40% mud dressing to fill all voids remaining and thoroughly watered to wash the top dressing into the sodded surface
- c) All sod areas shall then be rolled using a vibrating #1500 soil roller, if deemed necessary by the Landscape Architect, following installation of the sod.
- d) It is the Landscape Contractor's responsibility to keep new sod properly watered until completion of the contract. All watering shall meet specifications in plant species or size will be made only with prior written permission of the Landscape Architect.
- H. Substitutions in plant species or size will be made only with prior written permission of the Landscape Architect.
- I. If, in the opinion of the Landscape Architect, materials and/or work do not conform with the plans and specifications, it may be rejected and upon rejection, must be removed immediately from the site by the Contractor and replaced.
- J. The Contractor shall be responsible for the certification and inspection of plant material that may be required by local, state, or federal authorities and shall bear the cost of the same, if any.
- 4.02 Materials used to install the job shall meet or exceed the following standards:
- A. Planting mix to be used for planting shall be a 50% peat, 1/3 Florida peat, 1/3 well aged manure, 1/3 compost, 70% sand. 30% mulch shall be used in planters or areas with poor drainage.
- B. Fertilizer: Fertilizer shall be delivered mixed as specified in standard bags, sealed, and showing weight by analysis and name of manufacturer. Fertilizer shall be stored in waterproof storage and in such a manner that its effectiveness will not be impaired.
- C. Mulch: Mulch shall be "Coco Brown" mulch from Florida Mulch or approved equal.
- D. Water: All water required for the execution of the work shall be supplied at the site by the Owner.
- 5.00 INSTALLATION
- 5.01 The Planting operations used to install the job shall meet or exceed the following standards:
- A. Excavation of Plant Pits: Plant pit excavations shall be roughly cylindrical in shape, with their side approximately vertical. Pit shall be excavated so that bottom of pit is same depth as root ball. Plants shall be centered in the hole, with the trunk location as shown in the plans. Holes for balled and burlapped plants shall be large enough to allow 12" minimum (depending on root ball size) of back fill around the sides of the root ball, and 12" of back fill beneath the root ball. In all cases the diameter of the plant hole shall be twice the diameter of the root ball. Where excess material has been excavated from the plant hole, the excavated material may be used to backfill to the proper level. Mix existing excavated material in 50% / 50% ratio with new planting soil mix. The Contractor, in excavation for planting, shall be responsible for the disposal of all excess material, other than sub-soil.
- B. Staking Plants: All trees shall be set so, that when staked, the top of the root ball will be flush with the surrounding area of the finish grade or slightly above finish grade. Each plant shall be planted in planting soil mix in the center of the pit. Shrubs shall be set flush with the surrounding finish grade of the planting area. The back fill shall be made with prepared planting mix in mixture as specified herein and shall be firmly rodded and watered, so that no air-pockets remain. The quantity of water applied immediately upon planting shall be sufficient to thoroughly moisten all of the backfilled earth. Plants shall be kept in a moistened condition the duration of the planting
- C. Staking and Guying: All trees shall be staked or guyed as shown in the details and according to the following specifications.
1. Use wide plastic, rubber or other flexible strapping materials to support the tree to stakes or ground anchors that will give as the tree moves in any direction up to 30 degrees. Use strapping material "Ankor Tie" by Deep Root (800) 458-7668 dark green color, or approved equal. Do not use rope or wire through a hose. Use guy chords, hose or any other thin bracing or anchorage material which has a minimum 12" (300 mm) length of high visibility flagging tape secured to guys, midway between the tree and stakes for safety.
2. Stakes 2" by 2" by 50 mm (2" by 50 mm) diameter and shall be at least 2' (606 mm) and extending to the crown of the plant. Firmly fasten the plant to the stakes with flexible strapping materials as noted above.
3. TREES OF 2 TO 3 1/2" (50 MM TO 90 MM) CALIPER: Stakes all trees, other than palm trees, larger than 2" (50 mm) caliper and smaller than 3 1/2" (90 mm) caliper with two 2" by 4" (50 by 100 mm) stakes, 8' (2.4 m) long, set 2' (606 mm) in the ground. Place the tree midway between the stakes and hold it firmly in place by flexible strapping materials as noted above.

4. LARGE TREES: Guy all trees, other than palm trees, larger than 3 1/2" (90 mm) caliper, from at least three points, with wide strapping materials as noted above. Use of a tree support system shall be approved by the Landscape Architect. Guy wires, driven into the ground and such that the top of the stake is at least 3' (75 mm) below the finished ground.
5. SPECIAL REQUIREMENTS FOR PALM TREES: Brace palms which are to be staked with three 2" by 4" (50 by 100 mm) wood braces, toe-nailed to cleats which are securely banded at two points to the palm, at a point one third the height of the trunk. Pad the trunk with five layers of bubble wrap under the cleats. Place braces approximately 120 degrees apart and secure them underground by 2" by 4" by 12" (50 by 100 by 300 mm) stake pads. Paint wood flat dark green exterior paint, two coats.
6. TREE PROTECTION AND ROOT BARRIERS: Install tree barriers when called for in the Contract Documents or by the Landscape Architect to protect existing trees from damage during project construction. Place barricades at the drip line of the tree foliage or as far from the base of the tree trunk as possible. Barricades shall be able to withstand bumps by heavy equipment and trucks. Maintain barricades in good condition. When called for in the Contract Documents, install root barriers or barriers in accordance with the details shown.
- D. Pruning: All broken or damaged roots or branches shall be cut smoothly and the tops of all trees shall be pruned in a manner complying with standard horticultural practice. All the trees shall be pruned in a manner complying with standard horticultural practice. All the trees shall be pruned in a manner complying with standard horticultural practice. All the trees shall be pruned in a manner complying with standard horticultural practice.
- E. Mulching: Within one week after planting, mulch material shall be uniformly applied to a minimum loose thickness of 2 inches, over the entire area of the backfilled hole or bed. The mulch shall be maintained continuously in place until the time of final inspection, and must be a minimum of 2 inches thick to be accepted. Mulch shall not be placed against stems or trunks.
- F. Fertilizing: Feeding of all trees and specimen shrubs shall be done with a slow release granular 12-6-8 with complete minors turf and ornamental fertilizer, as per manufacturer's instructions. Contractor shall submit and label to the Landscape Architect for approval prior to application.
- 6.00 MAINTENANCE
- 6.01 Maintenance and hand watering of all trees, shrubs and groundcover by the Landscape Contractor shall terminate upon final acceptance of such work, but shall not discharge the Landscape Contractor from its responsibility to honor the guarantee period. Maintenance prior to final acceptance shall include the removal of all dead or dying twigs and branches, the weeding, watering and normal pruning of plant material.
- 7.00 GUARANTEE
- 7.01 The Landscape Contractor shall guarantee and maintain all trees and palms for a period of 90 days from the date of final acceptance of the work. The Landscape Architect shall have the right to demand that the Landscape Contractor shall replace at the discretion of the Landscape Architect all trees, shrubs, or groundcovers deemed by the Landscape Architect to be unacceptable due to death or damage. Acts of God, Owner negligence, and Vandalism excepted.
1. Acts of God are natural hazards and events outside of human control that include but are not limited to: earthquakes, flash floods, fire caused by lightning, sustained winds in excess of 75mph, and freezing temperatures below 32 degrees for more than 4 hours.
2. The guarantee period shall begin upon final acceptance of the job and completion of final punch lists, as determined by the landscape architect.
- 7.03 New material used to replace material unacceptable to the Landscape Architect, shall be guaranteed for a similar period from date of installation.
- 7.04 New material used to replace material unacceptable to the Landscape Architect, shall be replaced with the grown-in size. Grown in size will be determined by the adjacent like plants in Florida #1 grade condition. This may require installing a larger container size than originally planted.
- 8.00 FINAL INSPECTION AND ACCEPTANCE
- 8.01 The Landscape Contractor shall advise the Landscape Architect in writing at the end of the guarantee period that this project is ready for final inspection. Only upon notification to the Landscape Architect by the Landscape Contractor in writing and subsequent inspection and approval by the Landscape Architect shall the requirements of the guarantee be met.
- 9.00 CLEAN-UP
- 9.01 Upon completion of all work under this section, the Landscape Contractor shall clear the site of all debris, superfluous material and all equipment to the satisfaction of the Landscape Architect.
- 9.02 End

Susan Hall, ASLA  
LANDSCAPE ARCHITECTURE  
244 N. COLLEGE STREET  
MIAMI, FL 33133  
OFFICE (312) 448-0790  
CELL (312) 448-0790  
www.susanhall.com

North Hill Commercial  
W King St - SR 520  
Cocoa, FL 32922

Landscaping Specifications

|             |              |
|-------------|--------------|
| DATE        | 10-24-24     |
| DESIGNED BY | S.H.         |
| DRAWN BY    | L.J.         |
| CHECKED BY  |              |
| IN CHARGE   |              |
| SCALE       | 1/8" = 1'-0" |
| PROJECT NO. | 18-24-24     |
| SHEET NO.   | 3            |







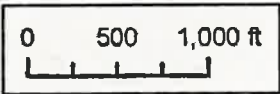
# Location Map



Subject Property in Orange

Disclaimer: This map was compiled from recorded documents and does not reflect an actual survey. The Brevard County Board of County Commissioners does not assume responsibility for errors or omissions hereon.

Scale: 1:12,000  
1 inch equals 1,000 feet





BOARD OF COUNTY COMMISSIONERS

Planning & Development Department  
2725 Judge Fran Jamieson Way  
Building A, Room 115  
Viera, Florida 32940

December 20, 2024

**Re: 24WV00032 – North Hill Development (24SP00018) Waiver of 6-Foot High Solid Wall**

Dear Property Owner:

You are receiving this notice because the owner of the property adjacent to your property to the south has submitted a waiver request to the Board of County Commissioners for consideration at the Board of County Commissioners meeting. The meeting has been scheduled for January 14, 2025 at 5:00 pm. You are welcome to attend the meeting in order to address the following issue:

The applicant is asking for a waiver to Section 62-3202(h)(10) of the requirement to construct a six-foot high masonry or solid wall along the north property line which abuts residentially zoned property.

The required wall would need to be installed within the portion of the wetlands that are being preserved along the north property boundary, which would also be below the proposed parking area. The requested waiver would allow for the replacement of the 6ft high masonry wall with an opaque wood fence that would be adjacent to, and at approximately the same elevation as the parking for easy maintenance and/or replacement without impacting the wetlands.

Said wood fence while providing the opaque buffer between the proposed project and the neighboring residentially zoned property to the north; will allow for the preservation of the wetlands along with existing trees and vegetation in the prescribed area.

You are receiving this notice because you are the owner of a property adjacent to the waiver request.

The Board of County Commissioners meeting begins at 5:00 pm on January 14, 2025 in Building C, at 2725 Judge Fran Jamieson Way, Viera, FL 32940. If you have comments or questions regarding the waiver request, please call me at 321-350-8266 or email at [tim.craven@brevardfl.gov](mailto:tim.craven@brevardfl.gov).

Sincerely,

Jacqueline Y. Gonzalez  
Planner II  
Land Development Division