



Agenda Report

2725 Judge Fran Jamieson
Way
Viera, FL 32940

Consent

F.6.

10/11/2022

Subject:

Final Plat Approval, Re: Viera Professional Center

Developer: Breslay Drive Partners, LLC

District 4

Fiscal Impact:

None

Dept/Office:

Planning and Development

Requested Action:

In accordance with Section 62-2841(i) and Section 62-2844, it is requested that the Board of County Commissioners grant final plat approval and authorize the Chair to sign the final plat for Viera Professional Center.

Summary Explanation and Background:

There are three stages of review for subdivision plan approval: the pre-application conference, the preliminary plat/final engineering plan review, and the final plat review. The pre-application conference for the above project was held on May 27, 2021. The preliminary plat and final engineering plans, which is the second stage of approval, was approved on January 12, 2022. The third stage of review is the final plat approval for recordation.

Staff has reviewed the final plat for Viera Professional Center, and has determined that it is in compliance with the applicable ordinances.

Viera Professional Center is located within the Viera DRI, east of Stadium Boulevard and south of Wickham Road. The proposal is for 2 lots on 2.56 acres.

This approval is subject to minor engineering changes as applicable. Board approval of this project does not relieve the developer from obtaining all other necessary jurisdictional permits.

Reference 22FM00008, 21SP00017

Clerk to the Board Instructions:

Please have the final plat signed by the Chair and return to Planning and Development.



Kimberly Powell, Clerk to the Board, 400 South Street • P.O. Box 999, Titusville, Florida 32781-0999

Telephone: (321) 637-2001
Fax: (321) 264-6972
Kimberly.Powell@brevardclerk.us

October 12, 2022

MEMORANDUM

TO: Tad Calkins, Planning and Development Director

RE: Item F.6., Final Plat Approval for Viera Professional Center, Developer: Breslay Drive Partners, LLC

The Board of County Commissioners, in regular session on October 11, 2022, approved and executed final plat approval for Viera Professional Center, Developer: Breslay Drive Partners, LLC.

Your continued cooperation is always appreciated.

Sincerely,

BOARD OF COUNTY COMMISSIONERS
RACHEL M. SADOFF, CLERK

Kimberly Powell
Kimberly Powell, Clerk to the Board

BEING A RE-PLAT OF PART OF LOT 1, BLOCK B, BRESLAY COMMONS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 58, PAGE 19, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTION 5, TOWNSHIP 26 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA



STATE OF FLORIDA COUNTY OF BREWARD

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ attorn ratification, this _____ day of _____, 20____, by _____, respectively President and Secretary of the above named corporation incorporated under the laws of State of Florida, on behalf of the company, who are personally known to me ☐ or have produced _____.

WITNESS, WHEREOF, I have hereunto set my hand and seal on

1992

DATE

CERTIFICATE OF SURVEYOR

CERTIFICATE OF SURVEYOR

SHOW ALL MEN BY THESE PRESENTS, That the undersigned, being a duly qualified and licensed Surveyor of the County of Lincoln, State of Illinois, do hereby certify that on the 20th day of December, 1922, I was personally present at the surveying and that said plat was prepared under my direction and supervision, and that said plat was prepared in accordance with the requirements of the laws of the State of Illinois, and that the same is a true and correct copy of the original plat on file in my office, and is a true and correct copy of the original plat on file in the office of the Clerk of the County of Lincoln, State of Illinois.

[Signature]

LESLIE F. HANCOCK
S.C. Consultants Inc.
1000 North Dearborn Street, Suite 404
Chicago, Ill. 60610
State of Authorization Number IL-0000606

Registration Number 52527

CERTIFICATE OF COUNTY SURVEYOR

CERTIFICATE OF ACCEPTANCE OF DEDICATION
BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That the Board of County Commissioners hereby accepts the following as the official record of the County of Adams, Colorado, to wit: the following real estate, personal property, public utility easements, rights and egress easements for emergency vehicles and areas dedicated for the public use on this date:

TEST

CERTIFICATE OF APPROVAL
BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That on _____, the foregoing plat was approved by the Board of County Commissioners of Brevard County, Florida

CERTIFICATE OF CLERK

[illegible]

TEST

[illegible]

ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE SUBJECTS FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES PROVIDED. HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL BE CONSIDERED A VIOLATION OF THE EASEMENT. THE EASEMENT SHALL NOT BE CONSIDERED A VIOLATION OF THE EASEMENT IN THE EVENT A CABLE TELEVISION SERVICE PROVIDER DAMAGES THE FACILITIES OF A PUBLIC UTILITY, SHALL BE SOLELY RESPONSIBLE FOR THE REPAIRS AND REPAIRS TO THE FACILITIES OF A PUBLIC UTILITY TO BE OBTAINED BY A PARTICULAR ELECTRIC UTILITY. CABLE TELEVISION SERVICE PROVIDERS SHALL BE RESPONSIBLE FOR THE REPAIRS AND REPAIRS TO THE FACILITIES OF A PUBLIC UTILITY. THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

THE SANITARY SEWER EASEMENT AS SHOWN ON SHEET 2 OF THIS PLAT SHALL BE DEDICATED TO BREWERY COUNTY FOR THE MAINTENANCE, REPAIR, CONSTRUCTION AND ACCESS ASSESSMENT FOR THE SANITARY SEWER IMPROVEMENTS CONSTRUCTED WITHIN SAID EASEMENT.

THE PUBLIC ROWS EASEMENT SHOWN ON SHEET 2 OF THIS PLAT SHALL BE DEDICATED TO BREWERY COUNTY TO ACCOMMODATE THE SANITARY SEWER IMPROVEMENTS CONSTRUCTED WITHIN SAID EASEMENT. THE PUBLIC ROWS EASEMENT SHALL BE DEDICATED TO BREWERY COUNTY, OVER THE AREA BETWEEN THE PUBLIC STREET RIGHT-OF-WAY AND THE SANITARY SEWER EASEMENT, FOR THE SANITARY SEWER IMPROVEMENTS CONSTRUCTED WITHIN SAID EASEMENT.

[illegible]

THE COORDINATE VALUES SHOWN ON THE PLAT BOUNDARY AND THE SURROUNDING SECTION CORNERS WERE COMPUTED USING AUTOCAD LAND DEVELOPMENT DESKTOP. A PROJECT SCALE FACTOR OF 0.00000020 WAS USED TO CONVERT GROUND DISTANCE TO GRID DISTANCE. THE DISTANCES SHOWN ON THIS PLAT ARE BOUNDING DISTANCES. THE PROJECT SCALE FACTOR CAN BE APPLIED TO CONVERT THE GROUND DISTANCE TO GRID DISTANCE. ALL OF THE VALUES SHOWN ARE EXPRESSED IN U.S. SURVEY FEET.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEFINITION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

STATE PLANE COORDINATE NOTES
THE COORDINATES SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM FOR FLORIDA'S EAST ZONE
NORTH AMERICAN DATUM OF 1983 AND READJUSTED IN 1990 (NA83/90)

A GPS CONTROL SURVEY UTILIZING THREE ASHTECH PROMARK 2 GPS RECEIVERS WAS PERFORMED ON 13/04/00. THE NETWORK VECTOR DATA WAS ADJUSTED BY LEAST SQUARES METHOD UTILIZING ASHTEC SOLUTIONS VERSION 2.7. THE STATIONS SHOWN BELOW WERE HELD FIXED IN THE NETWORK ADJUSTMENT.

This grant may be used to support research, training, travel, and the like. All requests should be made to the grant manager.

Author	Year	Country	Sample Size	Study Design	Findings
Smith et al.	2015	USA	1,200	Longitudinal	Increased risk of depression in children of parents with mental illness.
Johnson et al.	2016	UK	800	Cross-sectional	Higher levels of anxiety in children of parents with anxiety disorders.
Lee et al.	2017	Canada	950	Longitudinal	Increased risk of substance use in children of parents with substance use disorders.
Chen et al.	2018	China	1,500	Cross-sectional	Higher levels of depression in children of parents with depression.
Miller et al.	2019	Australia	1,100	Longitudinal	Increased risk of conduct problems in children of parents with conduct disorders.
Wong et al.	2020	USA	1,300	Cross-sectional	Higher levels of anxiety in children of parents with anxiety disorders.
Patel et al.	2021	India	1,400	Longitudinal	Increased risk of depression in children of parents with depression.
Kim et al.	2022	South Korea	1,600	Cross-sectional	Higher levels of anxiety in children of parents with anxiety disorders.
Nguyen et al.	2023	Vietnam	1,700	Longitudinal	Increased risk of substance use in children of parents with substance use disorders.
Alvarez et al.	2024	Spain	1,800	Cross-sectional	Higher levels of depression in children of parents with depression.
Costa et al.	2025	Portugal	1,900	Longitudinal	Increased risk of conduct problems in children of parents with conduct disorders.

DESTINATION	IND	NORTHING	N METERS	EASTING	E METERS	N LATITUDE
CLIMAN AZ MAR 4	AACT118	1 436 320 224	434 748 111	234 853 481	235 377 114	38°11'26" N

BM5VARO CPM 1100	AA7534	1 422 840 448	433 682 642	743 800 030	226 758 744	38781515140
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THE COORDINATE VALUES SHOWN ON THE PLAT BOUNDARY AND THE SURROUNDING SECTION CORNERS WERE COMPUTED

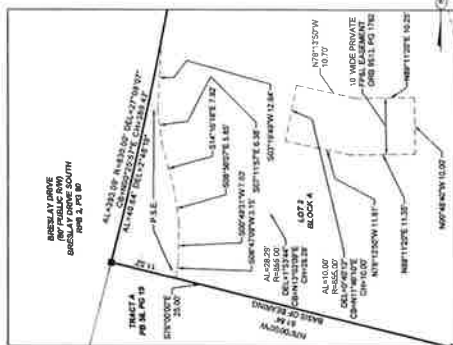
SCALE FACTOR OF 0.00006300 WAS USED TO CONVERT GROUND DISTANCE TO GRID DISTANCE. THE DISTANCES SHOWN ON FACTOR CAN BE APPLIED TO CONVERT THE GROUND DISTANCE TO GRID DISTANCE. ALL OF THE VALUES SHOWN ARE EXPERIMENTAL.

NOTICE: THIS PLAN AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEFINITION OF THE SUBSIDIZED LANDS OFFERED.

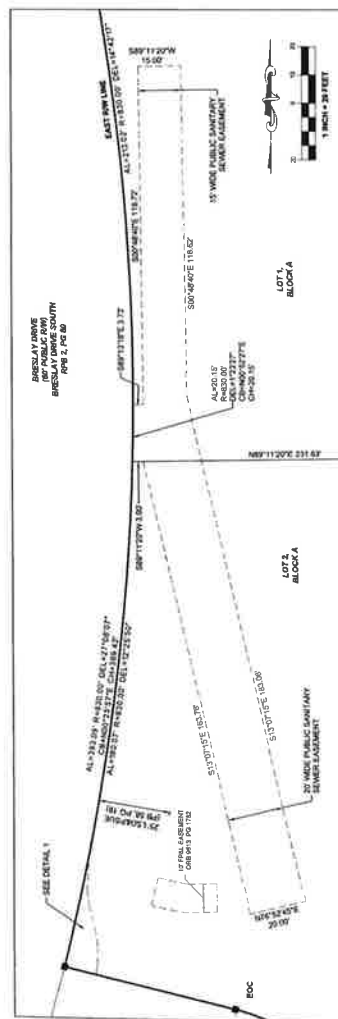
CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THESE MAY BE THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE BUREAU RECORDS OF THIS OFFICE.

THIS AREA MAY VARY BASED ON THE TYPE OF RECORDS REQUESTED.

PLAT BOOK ____, PAGE ____,
SHEET 2 OF 2
SECTION 1, TOWNSHIP 36 SOUTH, RANGE 36 EAST



DETAIL 1
PUBLIC SIDEWALK EASEMENT/FP&L
EASEMENT



DETAIL 2
PUBLIC SANITARY SEWER EASEMENT

SURVEY SYMBOL LEGEND

PERMANENT REFERENCE MONUMENT (PRM)
ROUND 4X4 INCH CONCRETE MONUMENT
WITH DISK STAMPED FROM LB4905, UNLESS
OTHERWISE NOTED.

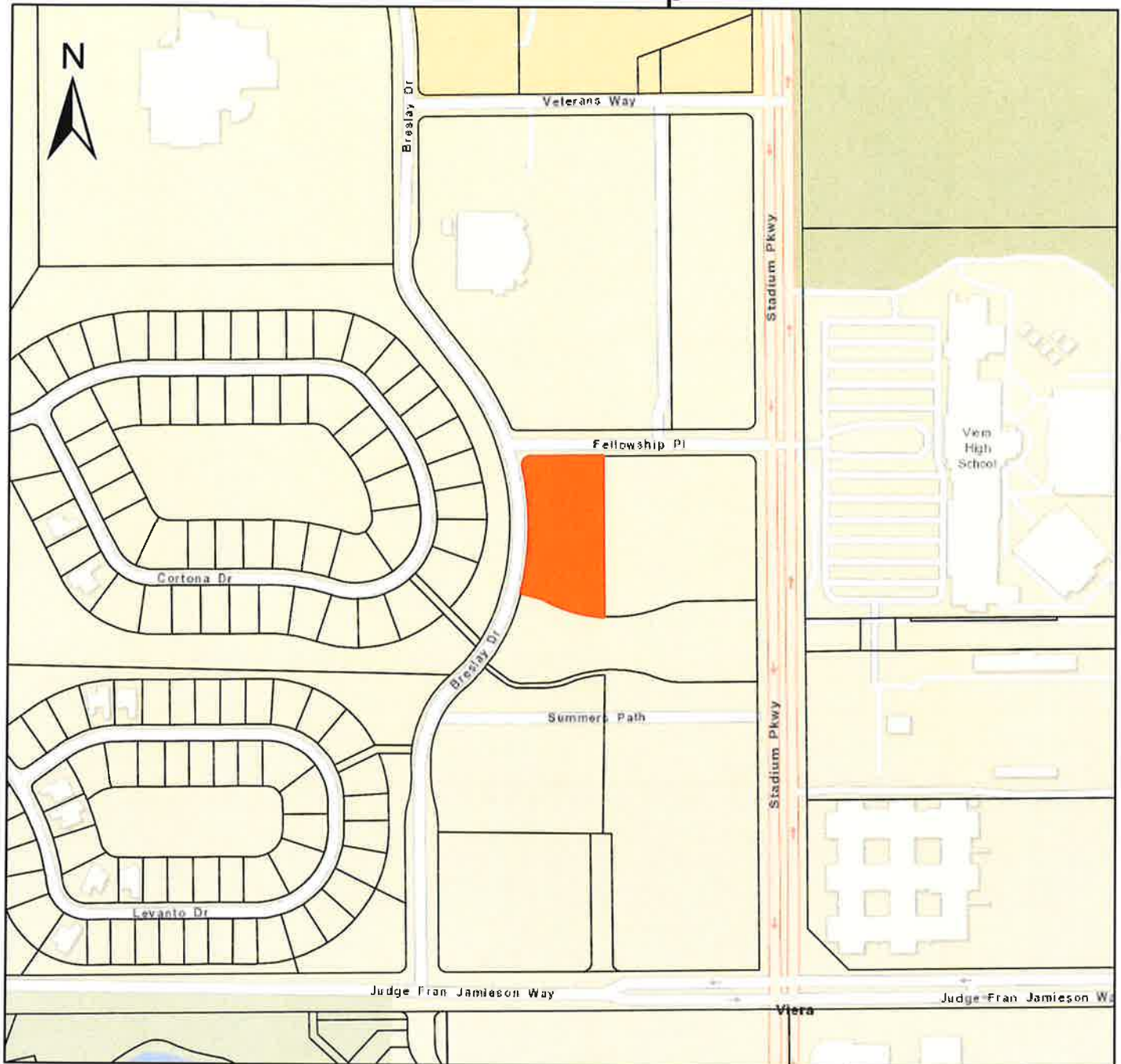
PERMANENT REFERENCE MONUMENT (PRM)
SHEET 4X4 INCH CONCRETE MONUMENT WITH
DISK STAMPED FROM LB4905, UNLESS
OTHERWISE NOTED.

ABBREVIATIONS

[illegible]

THIS PLAN PREPARED BY: **B.S.E. CONSULTANTS, INC.** DATE: 06/10/2022
 CONSULTING ENGINEERS - LAND SURVEYORS
 10000 W. 10th Avenue, Suite 100, Denver, CO 80202
 PHONE: 303.751.1111 FAX: 303.751.1112
 WWW.BSECONSULTANTS.COM

Location Map



Buffer Boundary in Dark Orange

Subject Property in Orange

Disclaimer: This map was compiled from recorded documents and does not reflect an actual survey. The Brevard County Board of County Commissioners does not assume responsibility for errors or omissions hereon.

Scale: 1:6,000
1 inch equals 500 feet



Print Time: 9/22/2022 2:44 PM