



# Agenda Report

2725 Judge Fran Jamieson  
Way  
Viera, FL 32940

## New Business - Community Services Group

J.1.

9/17/2024

### Subject:

Approval, Re: FY 2024-25 Tourist Development Council (TDC) Reimbursable Capital Facilities Grant Recommendation for the Cape Canaveral Lighthouse Foundation (CCLF) Phase 2 project for additional cottages on the Cape Canaveral Space Force Station.

### Fiscal Impact:

FY 2024-25: \$775,000 from the TDC Capital Facilities Fund 1443-293200.

### Dept/Office:

Tourism Development Office

### Requested Action:

It is requested the Board of County Commissioners approve a \$775,000 reimbursable capital facilities grant to the Cape Canaveral Lighthouse Foundation for their project for two (2) additional lightkeeper's cottages. One is a historic cottage, and one is an interactive, immersive experience cottage.

Further, it is requested that the Board make the legislative finding that Tourist Development Tax funds are authorized for each grant pursuant to Section 125.0104(5)(a), Florida Statutes, and Section 102-119(3)c of the Brevard County Code of Ordinances, because each grant supports a venue which has as one of its main purposes the attraction of tourists as evidenced by the promotion of the venue to tourists from outside Brevard County.

Additionally, it requested that the Tourism Development Office Department Director be authorized to negotiate and sign all necessary grant agreements and related documents upon County Attorney Office, Risk Management, Purchasing Services approval and authorize the County Manager to execute all necessary Budget Change requests.

### Summary Explanation and Background:

The TDC Capital Facilities Committee voted 5-2 at their August 15, 2024 meeting and the Tourist Development Council voted 5-3 at their August 28, 2024 meeting to recommend the Board approve the \$775,000 FY 2024-25 TDC Capital Facilities Grant Application from the Cape Canaveral Lighthouse Foundation as well as make the necessary legislative findings.

Additionally, the TDC Capital Facilities Committee voted unanimously 7-0 at their August 15, 2024 meeting to not recommend funding for the two (2) other Capital Facilities Grant applications this cycle. The two (2) applications not recommended for funding were the Melbourne Swim Foundation's Palm Shores pool request

of \$3 million and the Titusville Playhouse's expansion request of \$7.5 million. The Tourist Development Council, at their August 28, 2024 meeting, did not change the Committee's recommendation for these two (2) applications.

The Cape Canaveral Lighthouse capital project phase 2 will complete the reconstruction of the keepers' cottages to fully restore the Light Station to its historic footprint, not seen since 1966 when the Air Force destroyed the cottages originally built in the 1880s. Phase 1 (with a prior \$500K TDC Capital Facilities Grant and State funding assistance) reconstructed the Head Lighthouse Keeper's Cottage in 2019 and provided public restrooms. This 2nd (and final) phase will reconstruct the 1st and 2nd Assistant Lighthouse Keepers' Cottages on their original locations on the 4.19-acre Light Station. The Space Force granted CCLF a license to use the property surrounding the lighthouse to reconstruct the historic buildings. The buildings are owned and operated by CCLF. The 1st Assistant Lighthouse Keeper's Cottage (Replica Cottage) will be two stories with 2,761 square feet and will give visitors the opportunity to step back in time to see how the early keepers and other inhabitants of the Cape lived. The 2nd Assistant Keeper's Cottage will be one story with 1,421 square feet and used as an experiential and learning center, with interactive and immersive exhibits and displays, aligning with growing tourism and museum trends to increase visitor engagement. Displays will include a 360-surround vision view from the top of the lighthouse of the nearby launch pads, Port Canaveral and KSC, a view that is no longer accessible to the public. They will also be able to assemble and disassemble models of the lighthouse to see how it is designed to be taken apart and rebuilt. This cottage will provide a venue for artifacts thousands of years old that the Space Force Archaeologist has had no means to allow the public to see for decades.

This Cape Canaveral Lighthouse cottages project must break ground within three (3) years from the date of Board award. Project completion may not exceed six (6) years from the date of Board award. It is the sole discretion of the Brevard County Board of County Commissioners to grant an extension due to extenuating circumstances. All other provisions of the approved FY 2024-25 TDC Capital Facilities Guidelines apply to this request for contractual purposes.

Descriptions of the two applications that were not recommended for funding are listed below.

The Swim Melbourne Foundation is making a \$4.25 million investment in the construction of a state-of-the-art aquatic center in Brevard County. Swim Melbourne Foundation is a nonprofit organization committed to promoting a safe and active swimming lifestyle in Brevard County children by expanding the opportunities to participate in the sport of swimming. Today, swimmers in Brevard are underserved-with below average school swim programs, without an all-inclusive USA Swimming swim team, and without a sustainable lessons program. The Palm Shores Aquatic Center will provide the county with a sustainable, competitive, and fun environment for swimmers of all ages. Located in Palm Shores, the facility will include a 10-lane (25 Yard x 25 Meter) competition pool and a 3-lane (60 ft x 20 ft) teaching pool. The building will include a bathhouse, a viewing deck for swim meets and yoga programs, a small conference room, and an area for heating and cooling equipment to keep the competition pool at 80-82 degrees and the teaching pool at 86-88 degrees year-round. The competition pool will act as the training facility for the Swim Melbourne age group, masters and water polo teams and out-of-state college swim and water polo teams, host swim meets and special events, and provide open swim hours to the community, including organizations such as lifeguards and underprivileged children. The teaching pool will attract young families for swim lessons, host adult fitness, water aerobics, and rehabilitation programs. We project this new aquatic center will attract swim families from

all over Florida and out-of-state (attendance numbers detailed in independent 3rd party REVPAR International). With Florida drowning rates on the rise (28% higher in 2022 than pre-COVID) and shortages in swim lessons and lifeguards, the Palm Shores Aquatic Center is a perfect project for the Space Coast today.

The Titusville Playhouse's expansion project is a 59,000 square foot state of the art performance venue which will be part of an arts and entertainment campus in historic downtown Titusville. The current Titusville Playhouse facility expansion and infrastructure improvement project includes business operations with projected overall box office sales of approximately 56,500 tickets in year one of the new facility operations in performance and rentable spaces include:

1. New proscenium theatrical venue (550-seats)
2. Emma Parrish (existing historic venue)
3. Second Stage (existing outdoor venue)

These funds are put in place each fiscal year for future capital facilities projects approved by the TDC Capital Facilities Committee, the Tourist Development Council, and the Brevard County Board of County Commissioners. These capital projects are verified by the County Attorney's Office to be viable projects to receive support with Tourist Development Tax dollars per State Statute and local ordinance. Reimbursable grant awards with a minimum amount of \$250,000 are available to support capital projects that benefit tourism on the Florida's Space Coast. These capital projects are approved and supported through the Tourism Capital Facilities Plan and will serve as safe world-class attractions and facilities that are open to both tourists, visitors, and the community.

### **Clerk to the Board Instructions:**

Please return a memo of the Board's action to the Tourism Development Office and CAO.



Kimberly Powell, Clerk to the Board, 400 South Street • P.O. Box 999, Titusville, Florida 32781-0999

Telephone: (321) 637-2001  
Fax: (321) 264-6972  
Kimberly.Powell@brevardclerk.us

September 18, 2024

**MEMORANDUM**

**TO:** Peter Cranis, Tourism Development Director


**RE:** Item J.1., Approval for FY 2024-25 Tourist Development Council (TDC) Reimbursable Capital Facilities Grant Recommendation for the Cape Canaveral Lighthouse Foundation (CCLF) Phase 2 Project for Additional Cottages on the Cape Canaveral Space Force Station

The Board of County Commissioners, in regular session on September 17, 2024, approved a \$775,000 reimbursable TDC Capital Facilities grant to the CCLF for their Project for two additional lightkeeper's cottages, one is a historic cottage, and one is an interactive, immersive experience cottage; granted legislative finding the Tourist Development Tax (TDT) funds are authorized for each grant pursuant to Section 125.0104(5)(a), Florida Statutes, and Section 102-119(3)c of the Brevard County Code of Ordinances, because each grant supports a venue which has as one of its main purposes the attraction of tourists as evidenced by the promotion of the venue to tourists from outside Brevard County; authorized you to negotiate and sign all necessary grant agreements and related documents upon County Attorney Office, Risk Management, Purchasing Services approval; authorized the County Manager to execute all necessary budget change requests; and authorized for the project groundbreaking be completed within the timeperiod of one and one-half (1 ½) years and the full project completion within five (5) years.

Your continued cooperation is always appreciated.

Sincerely,

BOARD OF COUNTY COMMISSIONERS  
RACHEL M. SADOFF, CLERK

  
Kimberly Powell, Clerk to the Board

/ds

cc: County Manager  
County Attorney  
Finance  
Budget



FY24-25 TDC Capital Facilities Grant Scoring Summary				
TDC Capital Facilities Committee Member	Cape Canaveral Lighthouse Cottages	Swim Melbourne Palm Shores Pool	Titusville Playhouse Expansion	
Tom Hermansen - Chair	63	34	30	
Hunter Gaylor - Vice Chair	86	58	77	
Fred Poppe	85	53	85	
Jeff Robison	52	52	59	
Doug Lebo	85	65	65	
Jackie Barker	85	47	63	
Elizabeth Schneider	67	75	26	
Pam Rothenberg	32	76	76	
Candace Rogers	88	71	85	
<b>Score Total</b>	<b>643</b>	<b>531</b>	<b>566</b>	
<b>Average Score</b>	<b>71.4</b>	<b>59.0</b>	<b>62.9</b>	
<b>Trim Mean (High and Low Scores Discarded)</b>	<b>74.7</b>	<b>60.1</b>	<b>65.0</b>	
<b>Dollar Ask</b>	<b>\$ 775,000</b>	<b>\$ 3,000,000</b>	<b>\$ 7,500,000</b>	
<b>Dollar Ask Factored at Trim Mean</b>	<b>\$ 579,036</b>	<b>\$ 1,804,286</b>	<b>\$ 4,875,000</b>	
<b>Funds Available</b>	<b>\$ 135,618</b>	<b>\$ 422,589</b>	<b>\$ 1,141,793</b>	<b>\$ 1,700,000</b>

# Cape Canaveral Lighthouse Foundation Cottages

## Capital Facilities Grant Program Application 2024-2025

### 2. (untitled)

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#### 1. Please provide your contact information below.

**Name**

Becky Zingarelli

**Company Name**

Cape Canaveral Lighthouse Foundation

**Street Address**

PO Box 1978

**Apt/Suite/Office**

none

**City**

Cape Canaveral

**State**

FL

**Zip**

32920

**Email Address**

museumdirector@canaverallight.org

**Phone Number**

321-704-9194

**Website address if applicable:**

#### 2. If applicable, what is your website address associated with this project?

<https://canaverallight.org/>

### 3. (untitled)

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#### 3. To determine if your project qualifies for the Tourist Tax Collection funding, please clarify the category for your project into one of the following categories.

Museum

### 4. (untitled)

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#### 4. How much funding is being requested from the Tourism Development Council?

\$775,000.00

### 5. (untitled)

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## 5. What is the name and address (current or proposed) of the project?

Cape Canaveral Light Station Reconstruction – Phase 2. Cape Canaveral Lighthouse, 4001 Lighthouse Rd, Cape Canaveral Space Force Station, 32925

### 6. (untitled)

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## 6. Briefly, describe the proposed project.

The Cape Canaveral Lighthouse is owned by the US Space Force and on the property of the Cape Canaveral Space Force Station (CCSFS). This iconic structure has been standing for over 155 years as a symbol of the rich maritime history of the region and likely served as the first tourist destination in Brevard County (beginning in 1848). Lighthouse Keeper logs plus Titusville newspaper reports from the mid-to-late-1800s confirm visitors traveling long distances to visit the lighthouse – the tallest structure in the county – at a time when there were only a few thousand residents in the county. There are also advertisements to entice excursions to the lighthouse, which had to be done by a combination of boat, mule or horse-drawn carts, and walking for miles.

Phase 2 of this project will complete the reconstruction of the keepers' cottages to fully restore the Light Station to its historic footprint, not seen since 1966 when the Air Force destroyed the cottages originally built in the 1880s. Phase 1 (with TDC and State funding assistance) reconstructed the Head Lighthouse Keeper's Cottage in 2019 and provided public restrooms. This 2nd (and final) phase will reconstruct the 1st and 2nd Assistant Lighthouse Keepers' Cottages on their original locations on the 4.19-acre Light Station. The Space Force granted CCLF a license to use the property surrounding the lighthouse to reconstruct the historic buildings. The buildings are owned and operated by CCLF.

The 1st Assistant Lighthouse Keeper's Cottage (Replica Cottage) will be two stories with 2,761 square feet and will give visitors the opportunity to step back in time to see how the early keepers and other inhabitants of the Cape lived. They will also learn about the indigenous people who lived on the Cape until 1730. The 2nd Assistant Keeper's Cottage will be one story with 1,421 square feet and used as an experiential and learning center, with interactive and immersive exhibits and displays, aligning with growing tourism and museum trends to increase visitor engagement. Displays will include a 360-surround vision view from the top of the lighthouse of the nearby launch pads, Port Canaveral and KSC, a view that is no longer accessible to the public. They will also be able to assemble and disassemble models of the lighthouse to see how it is designed to be taken apart and rebuilt. This cottage will provide a venue for artifacts thousands of years old that the Space Force Archaeologist has had no means to allow the public to see for decades. The vision and plans for each cottage can be viewed in the Addendum below.

All the plans, designs and specifications for the Phase 2 buildings were completed during Phase 1, which also included the installation of the infrastructure and site work necessary to build the Phase 2 cottages. Phase 2 is ready to commence as soon as funding is received. The architectural drawings are at 90% and only need a current code compliance review. The Space Force approved Phase 2 at the time they approved Phase 1 and are fully supportive of Phase 2 being completed at this time.

Phase 2 Project costs have just been updated from the original Phase 1 estimates. Phase 2 building for both cottages is now estimated at \$978,708. CCLF has \$203,708 cash-in-hand for matching funds. This grant application requests the remaining \$775,000 to complete the project.

Once funding is received, we will use the remainder of 2024 to complete the code compliance review, conduct a competitive bid process to select the best contractor, and ensure all permits and approvals from the Space Force and Brevard County are in place. We will begin construction in early 2025, with project completion in the Fall and the new facilities outfitted and open in December 2025.

The Economic Impact Study from Downs and St. Germain estimates Brevard County will see an additional Total Economic Impact of over \$1M in 2026 because of the additional cottages and a 5-year impact of over \$3.3M. In addition, this project bolsters upcoming plans to significantly increase tourism in the Port / Cape areas with the completion of the Aquarium and the Space Force Experience. With the additional cottages, school field trips to the Lighthouse and Space Force Museum will be a viable and strong alternative to sending students to St. Augustine, drastically reducing the time and cost to the school district and parents.

CCLF successfully completed Phase 1 in 2019 on schedule and within cost. We stand ready with the experience and commitment of the same key personnel to achieve success in Phase 2, bringing lasting economic and cultural benefits to Brevard County and its citizens.

Additional information on the Project Plan and Benefits can be found in the attachments.

### 7. (untitled)

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## 7. Is this project a new facility or an addition to an existing facility?

An addition to an existing facility

### 8. (untitled)

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8. Please attach a 3<sup>rd</sup> party economic and fiscal analysis from a reputable firm that includes:

Impact on local activities

Project Demographics

Room Nights – include your room night estimation methodology. *Will you be using any tracking device or system to collect the data?*

*Please note that the Tourist Development Office may provide room night volume based on attendance or other data.*

Tax Revenue to include Tourist Development Tax, Property Tax and Sales Tax

Attendance/Visitation – for the next 5 years after completion including % of in and out of County visitors/attendees.

Wages

New or additional paid full-time employees. Note: Two part time jobs equal one full time employee.

[Cape Canaveral Lighthouse Study Report.pdf](#)

9. (untitled)

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9. Please complete & upload: Attachment #1 - Projected Annual Operating Income & Expense Worksheet here.

[CCLF Cap Fac Grant Rev Exp Worksheet.xlsx](#)

10. (untitled)

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10. Please complete & upload: Attachment #2 - E-Verify MOU here.

[CCLF E-Verify MOU 2023-11-15.pdf](#)

11. (untitled)

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11. Is or will this facility be publicly owned or operated?

No

12. (untitled)

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12. What is the name of the project entity or organization?

Cape Canaveral Lighthouse Foundation

13. (untitled)

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13. Is the project entity or organization a non-profit?

Yes

14. (untitled)

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**14. What are the estimated costs of the TOTAL project?**

Construction : \$  
Architectural : 18600  
Building Costs : 865108  
Site Work : 95000  
Furniture, Fixtures, etc : \$  
Other Costs (1) : \$  
Other Costs (2) : \$  
Other Costs (3) : \$  
Total : 978708

**16. (untitled)**

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**15. List the Sources of Project Funding:**

Donations/Pledges : \$  
Cash on Hand : 203708  
Loans : \$  
Tourism Development Council Funding : 775000  
Other Grants : \$  
Other Sources....please describe : \$  
TOTAL Sources of Project Funding : \$  
Total : 978708

**17. (untitled)**

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**16. When do you anticipate the project will be complete and the facility operational?**

12/31/2025

**18. (untitled)**

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**17. When will you provide schematic designs or renderings to Brevard County?**

Other - Please specify: 90% designs delivered with application.100% pending current code compliance review.

**19. (untitled)**

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**18. Will the project be viable without funding from the Tourism Development Council?**

Yes

**20. (untitled)**

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**19. What is the cost or schedule impact on the project if Tourist Development Tax funding is not currently available or awarded at this time?**

The Foundation fully intends to continue fundraising and seeking grants until the project is complete. Lack of funding through this grant will likely delay the project several years but will not stop the project from eventual completion.

**22. (untitled)**

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20. Please upload supporting documents; for example, letters from community leaders, financials, specifications, photos, location maps, site plans, schematic designs and renderings, documents supporting the community benefits, documents describing the benefits to Brevard County and increase in quality of life, etc.

- [1. Official and Financial Docs.pdf](#)
- [2. Project Plan-Benefits-Support.pdf](#)
- [3. Photos.pdf](#)
- [4. Renderings.pdf](#)
- [5. Site Plans.pdf](#)
- [6. Drawings-1.pdf](#)
- [7. Drawings-2.pdf](#)
- [8. Drawings-3.pdf](#)
- [9. Master Attachments TOC.pdf](#)

23. (untitled)

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### ATTESTATION

21.

#### Statement of Responsibility:

***By submitting this application, I attest that I have full authority to submit this grant request and I certify the information contained in this application, including all budget and financial and tax information, attachments and support materials, is true and correct to the best of my knowledge and that we will abide by all legal, financial, and reporting requirements. I further attest that I have read the guidelines, including reimbursement and reporting requirements and deadlines, and will comply with all of the before mentioned if funding is awarded to our organization.***



Signature of: Becky Zingarelli

24. (untitled)

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22. Upload your signed & completed Applicant Checklist.

[CCLF Checklist.pdf](#)

# Cape Canaveral Lighthouse 12-Month Economic Impact Study

June 2024





# Methodology

## Cape Canaveral Lighthouse Economic Impact Study

- » The goal of the study was to estimate the total economic impact of out-of-county visitors to Canaveral Lighthouse in Brevard County for the last 12 months
- » **173** surveys were completed with Cape Canaveral Lighthouse visitors online between May 2024 for visits in the previous 12 months

### Sources

- » An estimation of the economic impacts to Brevard County from visitors to Cape Canaveral Lighthouse was completed using the following sources:
  - » 173 surveys taken by Cape Canaveral Lighthouse visitors in the previous 12 months
  - » An estimate provided by the Cape Canaveral Lighthouse of the total number of visitors to the lighthouse in 2023
  - » IMPLAN economic modeling system
  - » Most recent Smith Travel Research data on hotel accommodations





# Economic Impact



# Direct Spending

Out-of-county visitors to the Cape  
Canaveral Lighthouse spent

**\$3,001,500**

in Florida's Space Coast on  
accommodations, restaurants, groceries,  
transportation, attractions,  
entertainment, and shopping in the last  
12 months



DS downs & st. germain  
R F S E A R C H

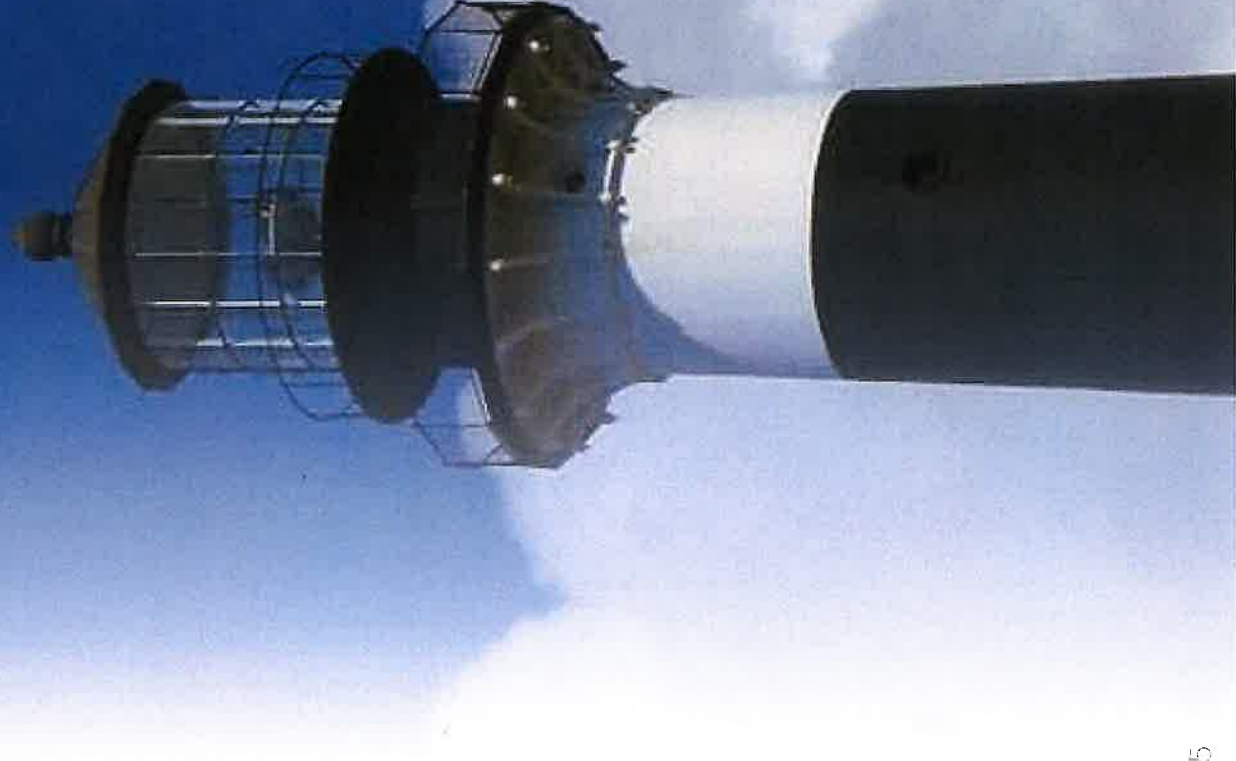
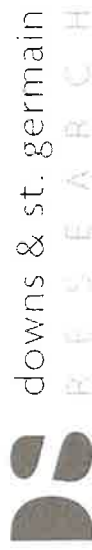


# Economic Impact

Out-of-county visitors to the Cape  
Canaveral Lighthouse generated a  
total economic impact of

**\$4,652,400**

in Florida's Space Coast last year



# Tourist Development Tax

Taxes paid on accommodations used by out-of-county visitors to the Cape Canaveral Lighthouse brought in

**\$55,100**

in Tourist Development Tax  
in the last 12 months



Downs & St. Germain  
ARCHITECTS





# State & Local Taxes Supported

Out-of-county visitors to the Cape Canaveral  
Lighthouse supported

Category	Amount
Tourist Development Tax	\$55,100
Property Tax	\$109,200
Sales Tax	\$210,800
Total	\$375,100



# Out-of-County Visitors

The Cape Canaveral Lighthouse welcomed

9,500

out-of-county visitors last year



DS  
downs & st. germain  
RESEARCH



# Room Nights

The Cape Canaveral Lighthouse generated

9,050

room nights last year



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R E S E A R C H



## Out-of-county visitors to the Cape Canaveral Lighthouse supported

# 45

jobs in Brevard County last year



downs & st. germain  
RESEARCH





Out-of-county visitors to the Cape Canaveral  
Lighthouse supported

**\$1,529,500**

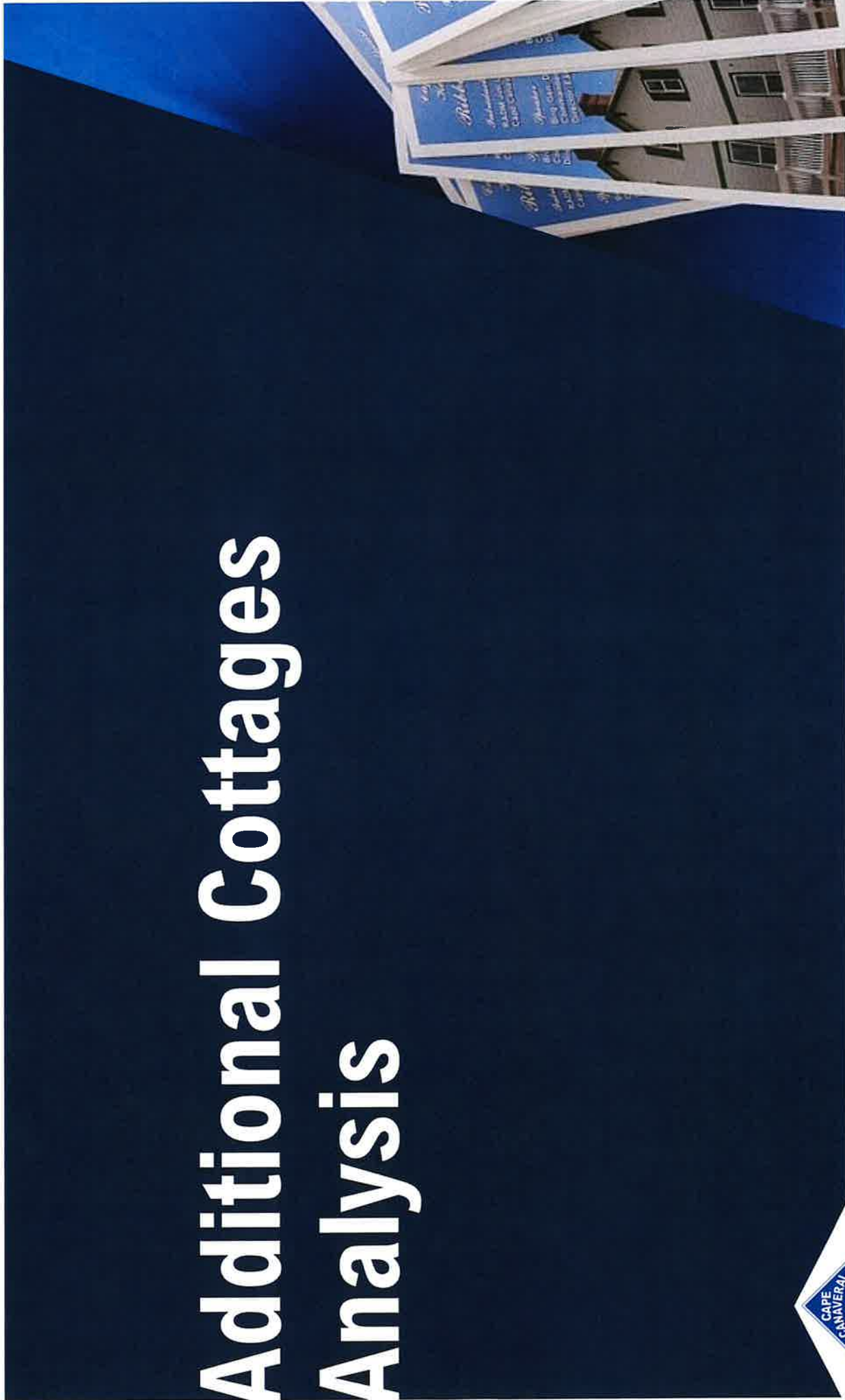
in local wages and salaries last year



Downs & St. Germain  
P E R E A R C H



# Additional Cottages Analysis



# Additional Cottages Analysis

- » Visitors to the Cape Canaveral Lighthouse were given details about a potential expansion of two new cottages to the lighthouse area.
- » **48.1%** of out-of-county visitors mentioned that would stay longer in Brevard County if more cottages were available.
- » Of those who would extend their stay, the typical visitor would stay an additional **1.1** nights in Brevard County.
- » The additional room nights and spending in Brevard County based on the data above are included on the next two slides.



\*"The Cape Canaveral Lighthouse is considering a new cottage that will show how lighthouse keepers and their families lived in the 19th Century. The other cottage will be an immersive, interactive experience."



# Additional Overnight Visits with 2 New C

Out-of-county visitors to the Cape Canaveral  
Lighthouse are projected to stay

# 1,460

more nights in Brevard County  
with two new cottages



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R E E A R C H



# Additional Spending with 2 New Cottages

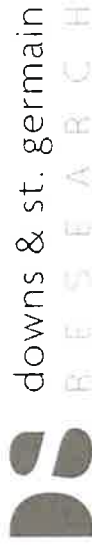
Out-of-county visitors to the Cape Canaveral  
Lighthouse are projected to spend an extra

# \$650,100\*

per year with the addition of the two new cottages

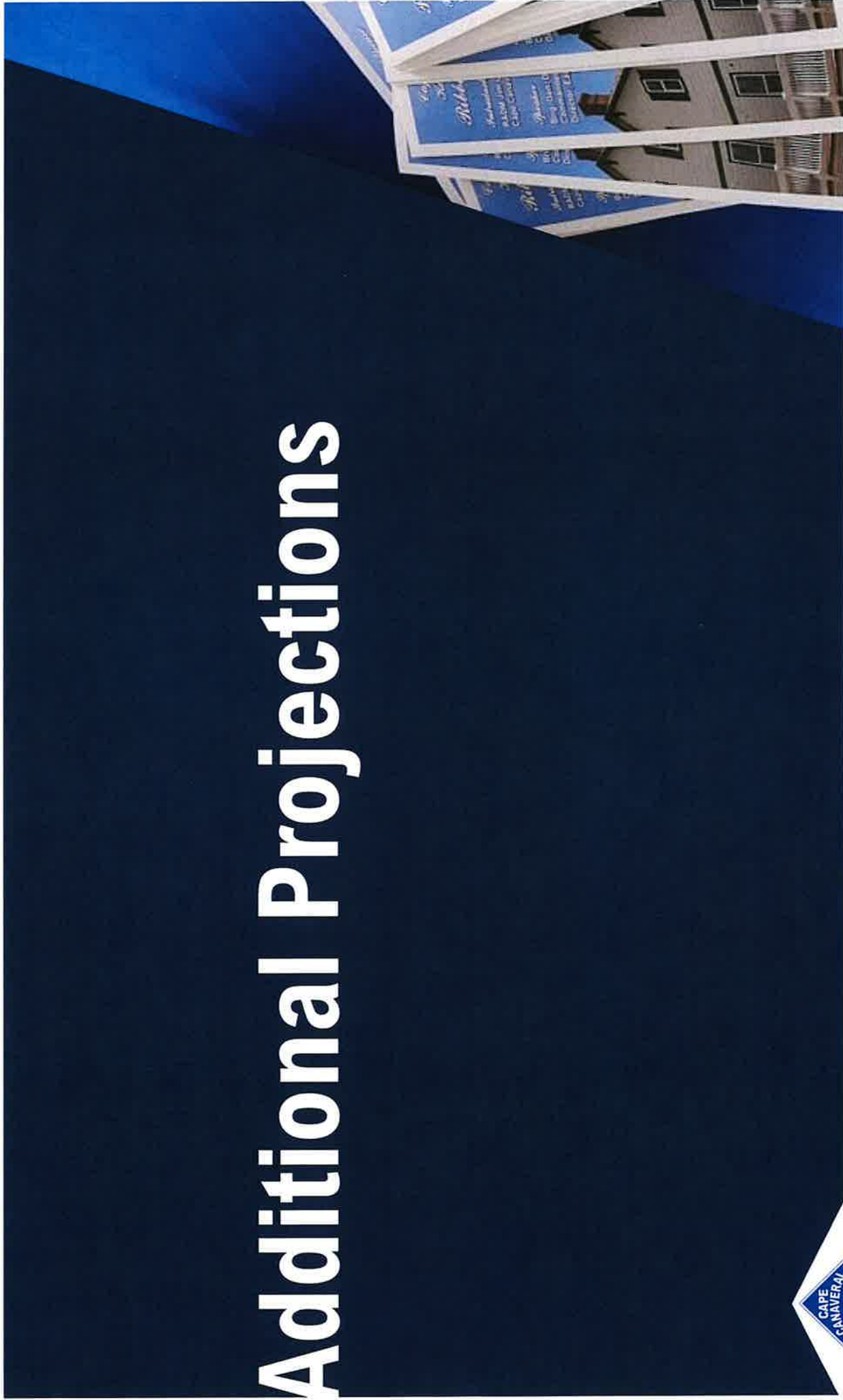


\*This includes spending on accommodations, restaurants, groceries, transportation, attractions, entertainment, and shopping





# Additional Projections



# Attendance Projection

	2023	2024*	2025*	2026*	2027*	2028*
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<b>Total Attendance</b>	18,170	19,080	20,040	23,040	24,190	25,400
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<b>In-County Attendance</b>	8,670	9,100	9,560	10,990	11,540	12,120
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<b>Out-of-County Attendance</b>	9,510	9,980	10,480	12,050	12,660	13,290
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\*Assumption: 5% year-over-year increase in attendance with the exception of 2026 (right after the cottages would be completed) - in which the YOY at at 15%

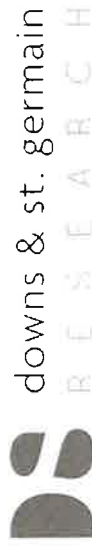


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R E S E A R C H

# Direct Spending Projection

Year	Direct Spending in Brevard County*
2023	\$3,001,500
2024	\$3,246,200
2025	\$3,510,700
2026	\$4,158,400
2027	\$4,497,400
2028	\$4,863,900
2029	\$5,260,300
2030	\$5,689,000

\*Assumes a 3% increase in spending per person, with the new cottages to be completed at the end of 2025





# Job Supported Projection

Year	Jobs Supported in Brevard County*
2023	45
2024	47
2025	50
2026	57
2027	60
2028	63
2029	66
2030	69

\*Assumes the new cottages will be completed at the end of 2025



# Wage Support Projection

Year	Wages Supported in Brevard County*
2023	\$1,529,500
2024	\$1,654,200
2025	\$1,789,000
2026	\$2,119,000
2027	\$2,291,700
2028	\$2,478,500
2029	\$2,680,500
2030	\$2,899,000

\*Assumes a 3% increase in wages per person, with the new cottages to be completed at the end of 2025



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# Room Night Projection

Year	Number of Room Nights Spent in Brevard County*
2023	9,050
2024	9,500
2025	9,980
2026	11,470
2027	12,050
2028	12,650
2029	13,280
2030	13,950



\*Assumes a 5% annual growth in room nights, with the new cottages to be completed at the end of 2025







# Visitor Origins

» **52%** of visitors were from outside the county



Brevard County locals **48%**

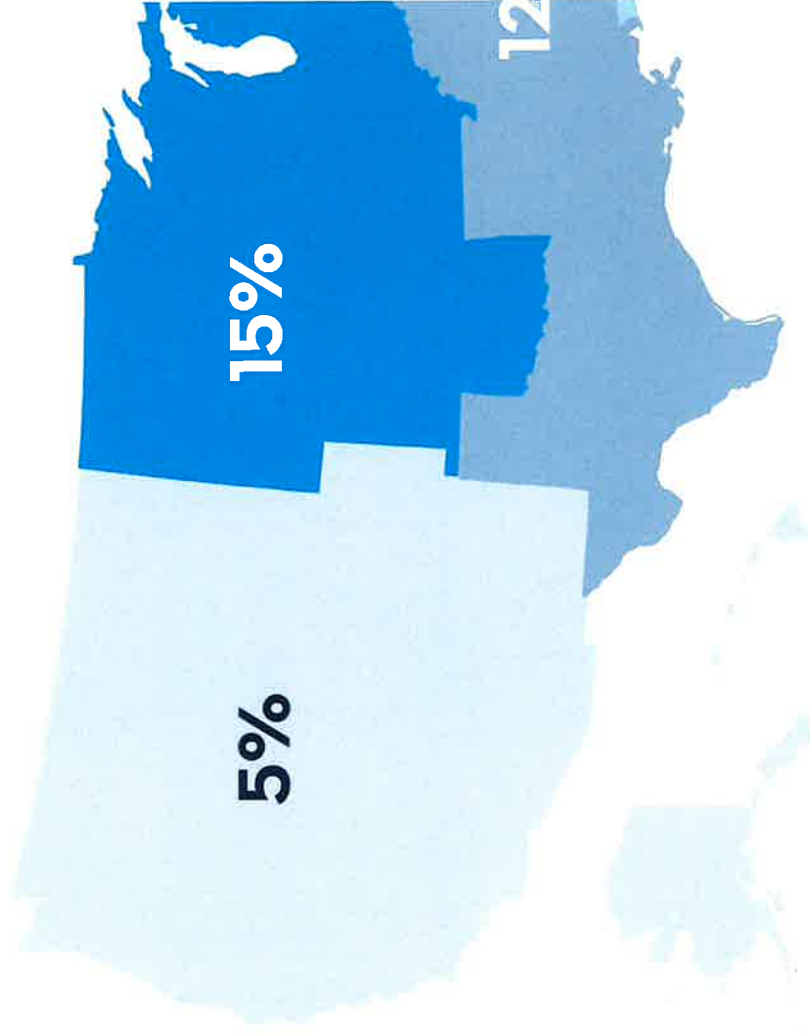


Out-of-county visitors **52%**

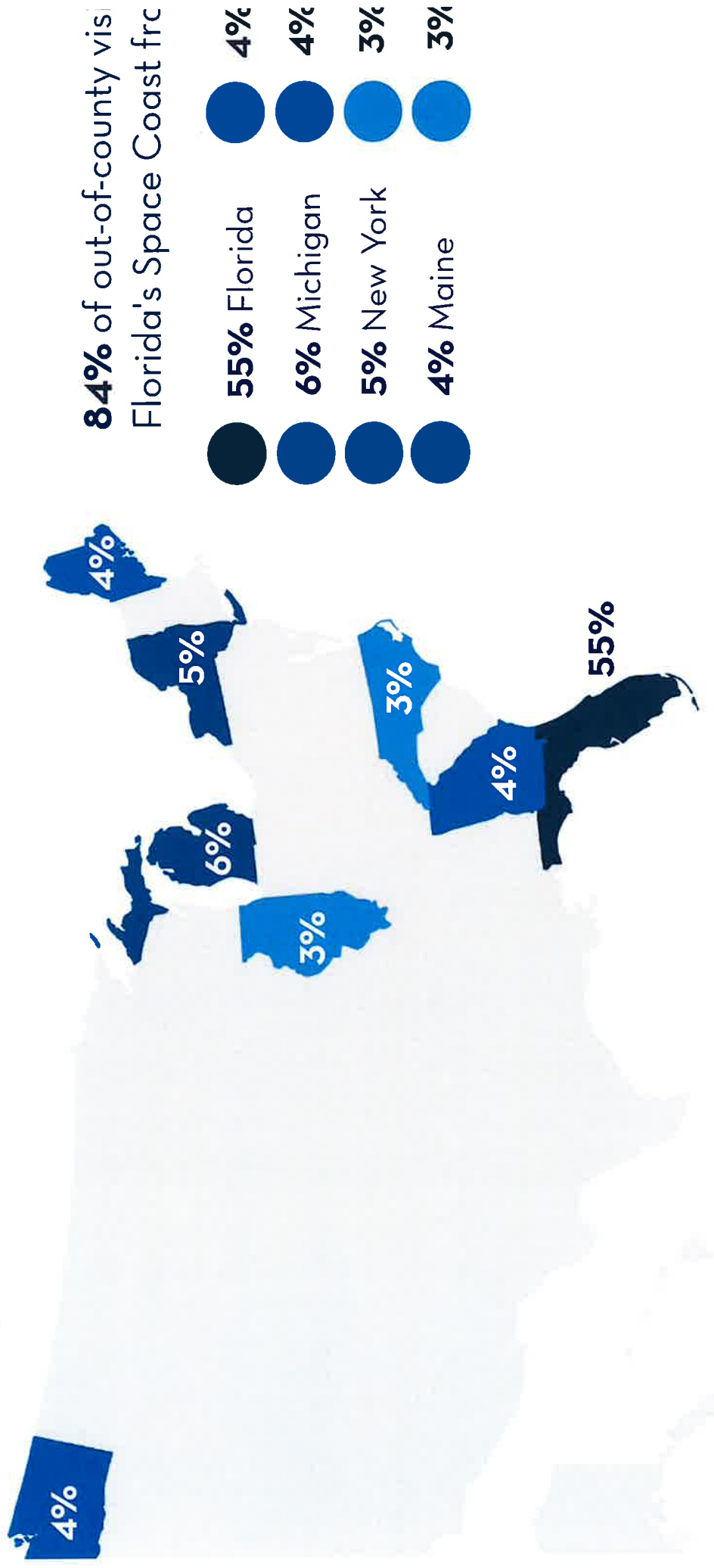


# Top Regional Origins of out-of-county visitors

- » **55%** of Cape Canaveral Lighthouse out-of-county visitors came from Florida



# Top State Origins of Out-of-county Visitors





# Top Market Origins of Out-of-county Visitors

58% traveled from 7 markets



14%

Orlando-  
Daytona  
Beach-  
Melbourne



13%

Tampa-St.  
Petersburg



12%

Jacksonville



6%

Mobile, AL



5%

Grand  
Rapids-  
Kalamazoo-  
Battle Creek



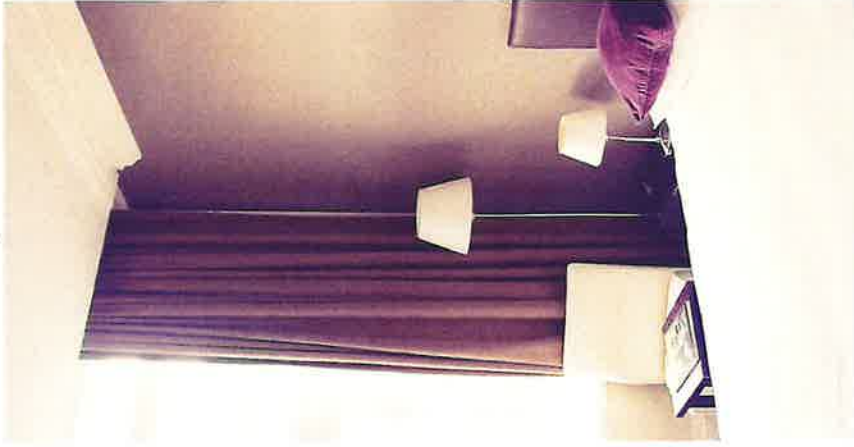
4%

Portland, OR





# Top Out-of-county Visitors' Accommodation



**55%**

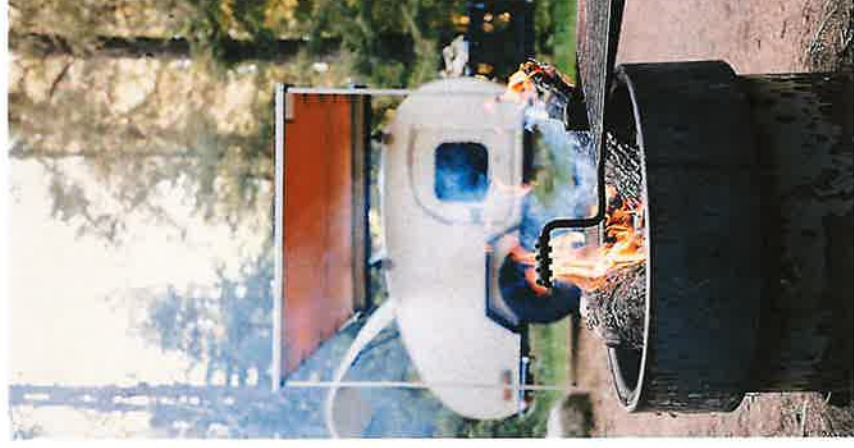
Hotel/motel/resort



**18%** Vacation

rental homes,

Airbnb, etc.



**10%** Campsite,

campground, RV



**7%** Timeshare

**5**

\*Of the remaining 5% of visitors, 3% stayed in a personal second home



# Trip Length and Party Size

- » **3.2** is the average number of nights for all out-of-county visitors<sup>1</sup>
- » The average out-of-county visitor traveled in a party of **3.4 people**
- » **14%** of out-of-county visitors traveled with children under 18



<sup>1</sup>The number of nights specifically to visit the



# Cape Canaveral Lighthouse Ratings!

- » The average rating out-of-county visitors rated their experience at the Cape Canaveral Lighthouse a **9.7 out of 10**
- » **94%** gave a rating of 9 or 10
- » **56%** said they would return to visit the Lighthouse (**27%** said they would definitely return)



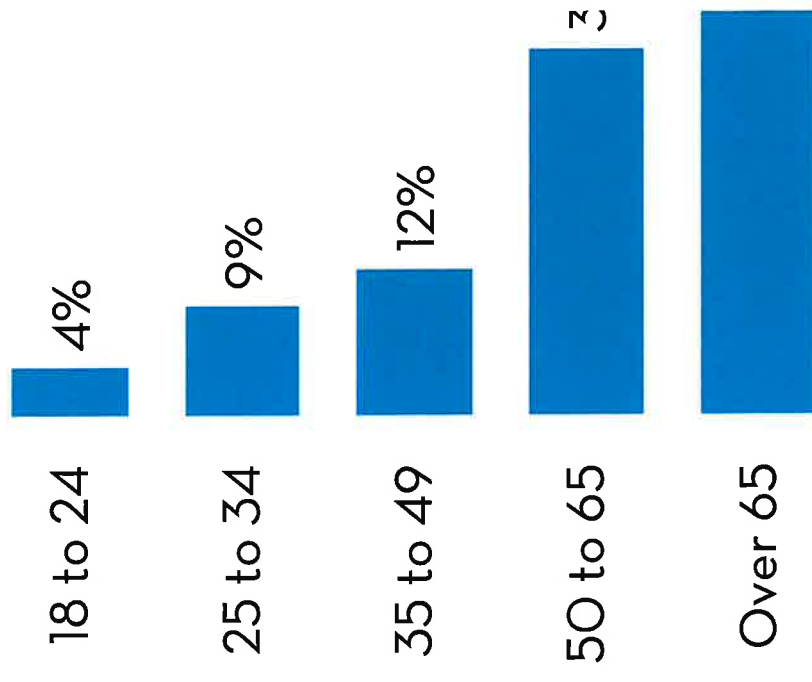


# Visitor Demographics



# Age

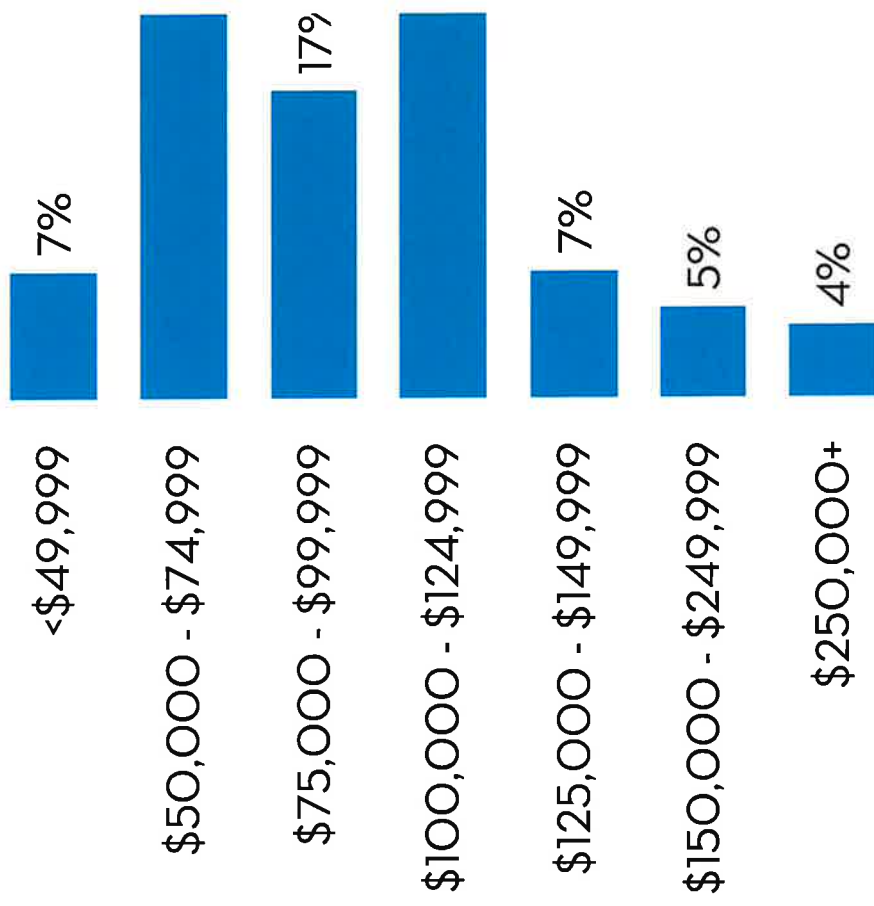
» **63** is the median age of out-of-county visitors



# Annual Household Income

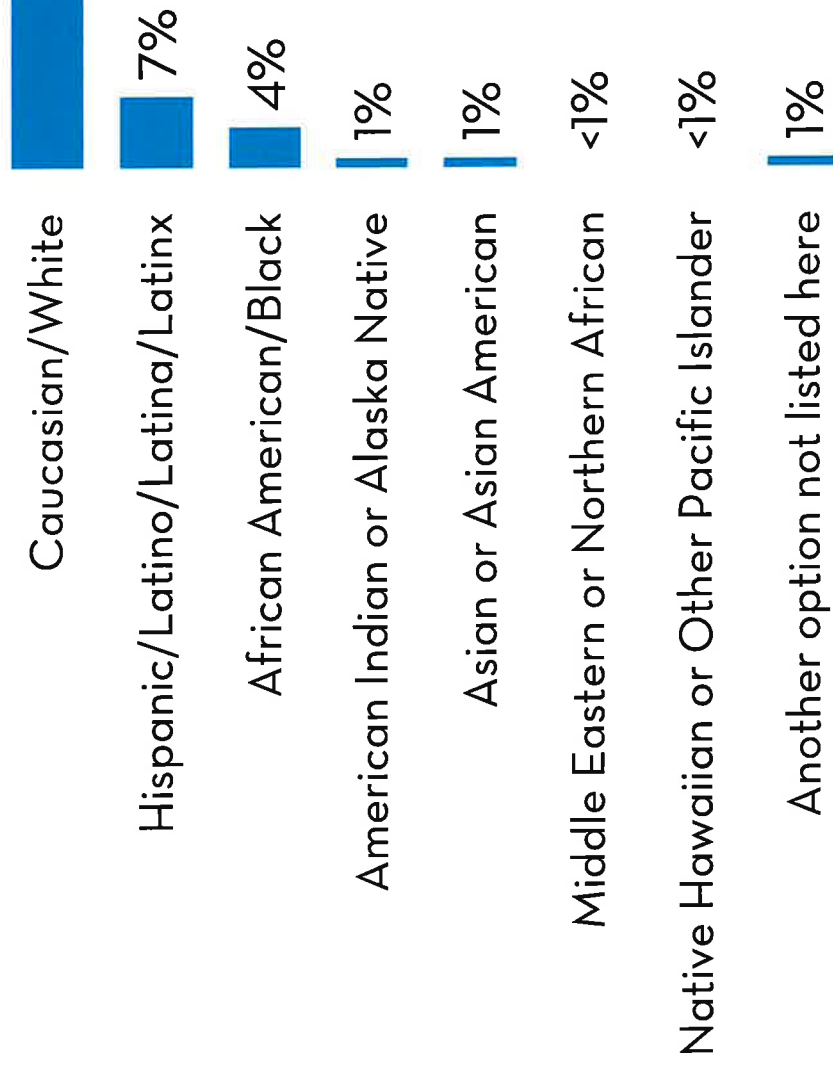
## Median Household Income

» **\$104,100** is the median household income for out-of-county visitors

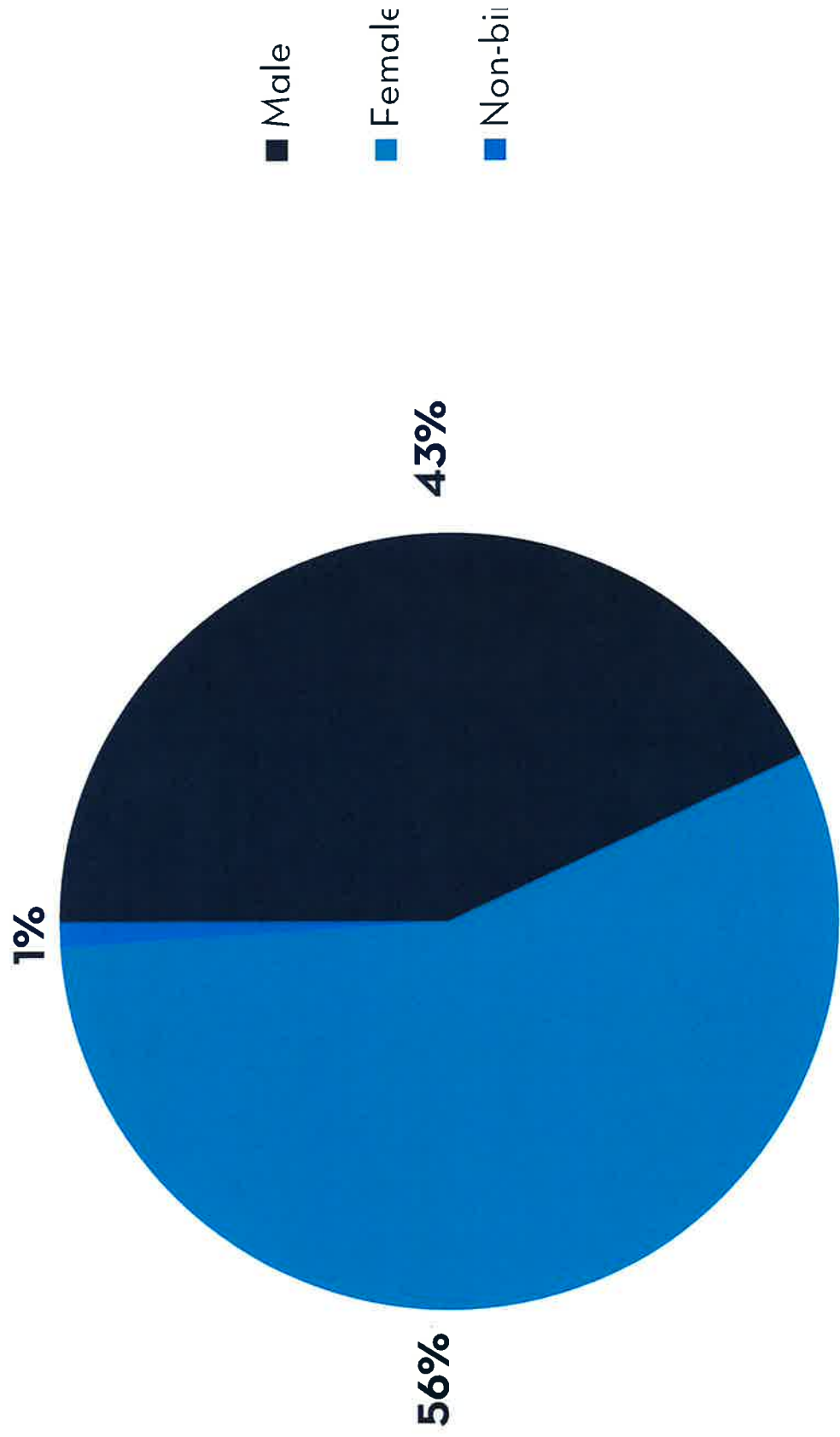




# Race/Ethnicity\*



# Gender



# Cape Canaveral Lighthouse 12-Month Economic Impact Study

June 2024

Downs & St. Germain Research  
850-906-3111 | [www.dsg-research.com](http://www.dsg-research.com)  
[Contact@dsg-research.com](mailto:Contact@dsg-research.com)



**Projected Annual Operating Income and Expenses Worksheet**  
**Capital Facilities Application - Attachment #1**

**Facility or Project Name: CCLF Phase 2**

<b><u>Annual Operating Income</u></b>	<b><u>Annual Operating Income in Dollars</u></b>
<b><u>(Describe Revenue Source)</u></b>	<b><u>(Estimate of Income)</u></b>
Brick Sales	\$4,500
Membership	\$28,500
Gift Shop Sales	\$44,000
Corporate/Public Donations	\$13,000
Sponsorships	\$28,000
Fundraisers	\$40,000
Grants	\$15,000
Misc	\$2,000
	\$0
	\$0
	\$0
	\$0
<b>Total Annual Operating Income</b>	<b>\$175,000</b>

<b><u>Annual Operating Expenses</u></b>	<b><u>Annual Operating Expense in Dollars</u></b>
<b><u>(Describe Expense)</u></b>	<b><u>(Estimate of Expenses)</u></b>
Brick Expenses	\$2,500
Membership Expenses	\$3,000
Gift Shop Expenses	\$25,500
Fundraising Expenses	\$4,000
Operating Expenses	\$31,000
Insurance	\$10,500
Professional Services	\$37,000
	\$0
	\$0
<b>Total Annual Operating Expenses</b>	<b>\$113,500</b>

<b>Net Operating Profit/(Loss)</b>	<b>\$61,500</b>
------------------------------------	-----------------



# TDC Capital Facilities Grant Request 2024-2025



Cape Canaveral Lighthouse Foundation (CCLF)  
Phase 2 Light Station Reconstruction

11 July 2024



## Background

- Light Station 1894-1966 = 3 cottages + 2 storage buildings
- Likely first Tourist Attraction in Brevard (beginning 1848)
- All buildings demolished in 1966 after lighthouse automated
- CCLF formed in 2002 to help Space Launch Delta 45 collect, preserve, restore, interpret and exhibit the lighthouse
- Mission: Inform and educate the public on the Cape Canaveral Lighthouse and its role in maritime and space history



Light Station 1894-1966



Cottages Burned in 1966



Light Station 1966-2019

## Project Description

- 2019 Phase 1 reconstructed Head Keeper's Cottage & restrooms
- Phase 2 will complete the reconstruction with final 2 cottages
- 1<sup>st</sup> Assistant Keeper's Cottage = 2,761sf Replica Cottage
  - Interpret the lives of Keepers and their families
  - Educate about all Cape settlers and Indigenous Peoples
- 2<sup>nd</sup> Assistant Keeper's Cottage = 1,421sf Lighthouse Experience
  - Experiential learning center
  - Interactive and immersive displays

Ready to Break Ground



New Lighthouse  
Experience Site

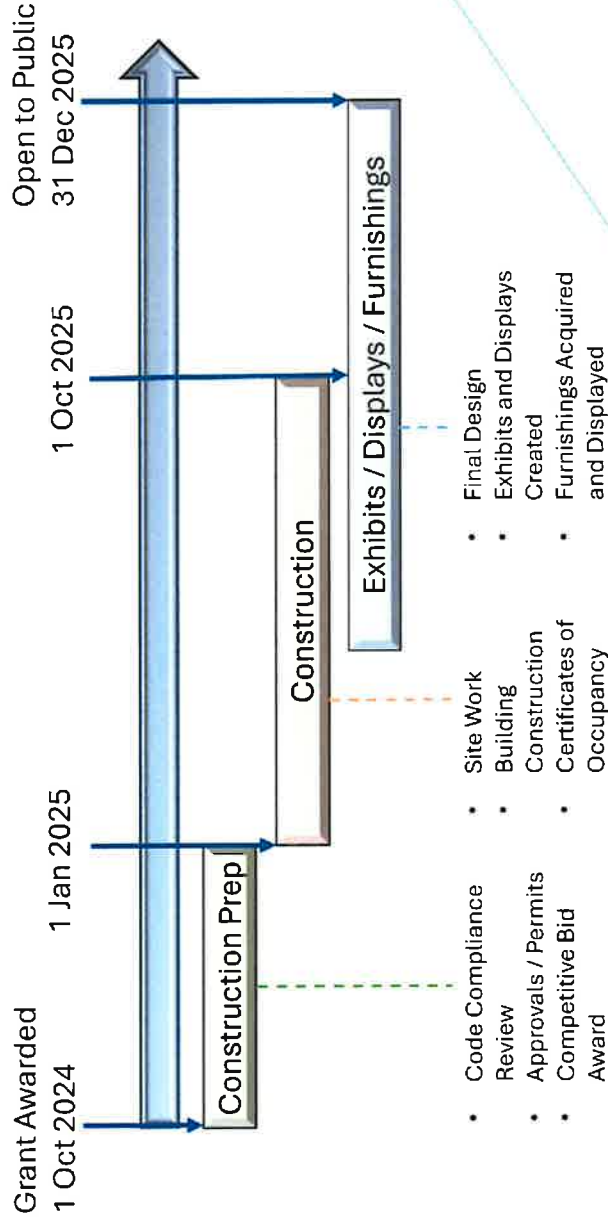
New Replica  
Cottage Site

## Project Schedule and Readiness

- Space Force approvals already in place
- Ready for final code review of 90% drawings
- Release competitive bid and award contract in 2024
- Cottages construction Jan - Sep 2025
- Cottages outfitted and open to public Dec 2025

*Note: Phase 1 key staff committed to Phase 2*

### CCLF Phase 2 Project Timeline



## Project Estimated Cost

\$ 18,600	Architectural
\$ 865,108	Building
\$ <u>95,000</u>	Site Work
<b>\$ 978,708</b>	<b>TOTAL</b>

### Notes

- Costs include both cottages
- Architectural based on estimate from RZK Architects
- Building (includes Construction) & Site Work based on estimate from Kinley Construction



## Project Funding

	\$ 978,708	Total Project Cost
Less	\$ 203,708	CCLF Cash on Hand Match
	\$ 775,000	Funding requested of TDC

**Replica Cottage**  
(1<sup>st</sup> Assistant Keeper)



**Lighthouse Experience Cottage**  
(2<sup>nd</sup> Assistant Keeper)





# Quantified Economic Benefits

## Impact on Brevard County

IMPACT	2023 Base	2026 Increase Over 2025	Total Increase 2026-2030
Attendance <sup>1</sup>			
Out-of-County	9,510	+1,570	+4,170
In-County	8,670	+1,430	+3,800
<b>Total</b>	<b>18,170</b>	<b>+3,000</b>	<b>+7,970</b>
<b>Room Nights<sup>1</sup></b>	<b>9,050</b>	<b>+1,490</b>	<b>+3,970</b>
<b>Jobs Supported</b>	<b>45</b>	<b>+7</b>	<b>+19</b>

<sup>1</sup> Assumes 5% increase in attendance, room nights and TDT from 2023 base in 2024 and 2025. Assumes 15% increase in 2026 and 5% each year after, as measured from 2025

## Economic Impact on Brevard County

ECONOMIC IMPACT	2023 Base	2026 Increase Over 2025	Total Increase 2026-2030
Direct Spending <sup>2</sup>	\$3,001,500	+\$647,700	+\$2,178,300
Wages <sup>2</sup>	\$1,529,500	+\$330,000	+\$1,110,000
<b>Total Economic Impact<sup>3</sup></b>	<b>\$4,652,400</b>	<b>+\$1,003,936</b>	<b>+\$3,376,365</b>

<sup>2</sup> Assumes 3% increase in spending per visitor and wages per employee each year from 2023 base

<sup>3</sup> Total Economic Impact calculated by multiplying 1.55 as a factor of Direct Spend, as recommended by Downs & St. Germain

## Community Benefits and Support

- Benefits and Support Given:
  - Descendants Day and National Lighthouse Day free public tours
  - Free Community Group Tours and Education Tours
  - Outreach events, e.g., Pioneer Day at Sams House, Archaeologists for Autism, Speakers Bureau
- Support Received:
  - 150+ active volunteers and 500 active members
  - Local organizations volunteer: Coast Guard, Scout Troops, Keep Brevard Beautiful, Master Gardeners, Rotaract



Descendants Day



KBB Adopt-A-Landmark



Eagle Scout Project

## Need for the Project

- Restores a fundamental piece of Brevard County history
- Bolsters upcoming plans to significantly increase tourism to Port / Cape areas
  - Aquarium
  - Space Force Experience
  - Light Station
  - Partnering with Keith Winsten and Jamie Draper
- Compelling alternative to expensive school trips to St. Augustine - working with School Board - Matt Susin
- Leverages a key Brevard tourism discriminator - Space (Cape selected for rocket launches partly due to the Light Station)



Time Lapse Launch/Landing



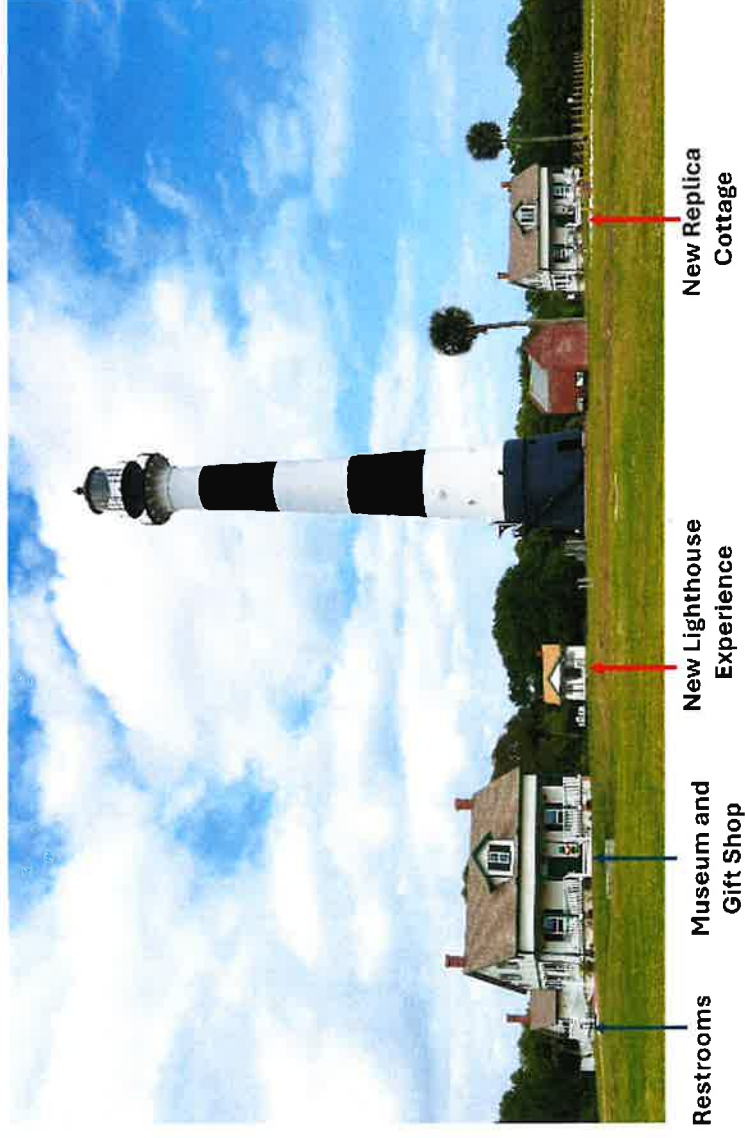
Hangar C - Space Force Museum Annex



School Trips



## 2026 - The Light Station is Reborn!



- Phase 2 ready to begin immediately upon award
- Buildings complete and open to the public Dec 2025
- Positive economic impacts starting Jan 2026
- Positioned to help bolster tourism when Aquarium and Space Force Experience arrive
- Ready to host school tours in lieu of St. Augustine

# Cape Canaveral Lighthouse Cottages

## Capital Facilities Grant Scoring Sheet


Tourism Development Council		
FY 2024-2025 Capital Facilities Grant – Evaluation Form		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
REVIEWER (SIGNATURE):		
REVIEWER (PRINT): Tom Hermansen		
Applicant Information (TDO staff will complete this section)		
Project Title: Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
Total Project Cost: \$978,708		
Requested Funding from TDC: \$775,000		
Applicant Match Amount: \$203,708		
Evaluation Criteria	Points Available	Points Earned
Promotes Tourism		
Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.	30	18
Weak: 0 - 6 points		
Adequate: 7 - 12 points		
Good: 13 –18 points		
Very Good: 19 – 24 points		
Excellent: 25 – 30 points		
Project Viability		






Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.	15	13
Weak: 0 - 3 points		
Adequate: 4 - 6 points		
Good: 7 - 9 points		
Very Good: 10 – 12 points		
Excellent: 13 - 15 points		
<b>Increases Economic/Fiscal Activity</b>		
Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.	15	9
Weak: 0 – 3 points		
Adequate: 4 - 6 points		
Good: 7 - 9 points		
Very Good: 10 – 12 points		
Excellent: 13 - 15 points		
<b>Project Readiness</b>		
Proposal clearly addresses the following components, for example but not limited to: <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	10	10
Weak: 0 - 2 points		
Adequate: 3 - 4 points		
Good: 5 - 6 points		
Very Good: 7 – 8 points		
Excellent: 9 - 10 points		
<b>Matching and/or Other Funding</b>		
Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater	30	13

consideration.		AB
Weak: 0 – 6 points		
Adequate: 7 - 12 points		
Good: 13 - 18 points		
Very Good: 19 – 24 points		
Excellent: 25 - 30 points		
PROPOSAL SCORE (Maximum 100 points)	100	63

  
 Tom Hermanson

## Capital Facilities Grant Scoring Sheet

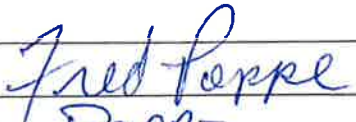
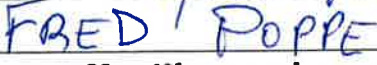

<b>Tourism Development Council</b> <b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> 		
<b>REVIEWER (PRINT):</b> HUNTER GAYLOR		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	30	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>	24	
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
<b>Weak: 0 - 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>	<b>14</b>	
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
<b>Weak: 0 – 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>	<b>14</b>	
<b>Project Readiness</b>		
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<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		
<b>Excellent: 9 - 10 points</b>	<b>10</b>	
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	

<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>	24	
<b>Excellent: 25 - 30 points</b>		
<b>PROPOSAL SCORE (Maximum 100 points)</b>	100	86



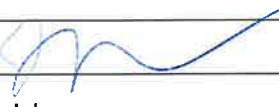
## Capital Facilities Grant Scoring Sheet

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<b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> 		
<b>REVIEWER (PRINT):</b> 		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
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<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
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<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
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<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	<b>13</b>
<b>Weak: 0 - 3 points</b>		
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<b>Good: 7 - 9 points</b>		
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<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	<b>13</b>
<b>Weak: 0 – 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
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<b>Project Readiness</b>		
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<ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	<b>9</b>
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		
<b>Excellent: 9 - 10 points</b>		
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	<b>25</b>

<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	<b>85</b>

## Capital Facilities Grant Scoring Sheet


<b>Tourism Development Council</b> <b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> 		
<b>REVIEWER (PRINT):</b> Jeff Robison		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		17
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
<b>Weak: 0 - 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		10
<b>Excellent: 13 - 15 points</b>		
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
<b>Weak: 0 – 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		8
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b> <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		8
<b>Excellent: 9 - 10 points</b>		
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	



<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		9
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	<b>52</b>

## Capital Facilities Grant Scoring Sheet

<b>Tourism Development Council</b> <b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> 		
<b>REVIEWER (PRINT):</b> Doug Lebo		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	<b>20</b>
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	<b>15</b>
<b>Weak: 0 - 3 points</b>		
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<b>Increases Economic/Fiscal Activity</b>		
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<b>Weak: 0 – 3 points</b>		
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<b>Excellent: 13 - 15 points</b>		
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b> <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	<b>10</b>
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		
<b>Excellent: 9 - 10 points</b>		
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	<b>30</b>

<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	<b>85</b>

## Capital Facilities Grant Scoring Sheet

<b>Tourism Development Council</b> <b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> <i>Jackie Barker</i>		
<b>REVIEWER (PRINT):</b> <i>Jackie Barker</i>		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>		<b>24</b>
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		



<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
Weak: 0 - 3 points		
Adequate: 4 - 6 points		
Good: 7 - 9 points		
Very Good: 10 – 12 points		
Excellent: 13 - 15 points		14
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
Weak: 0 – 3 points		
Adequate: 4 - 6 points		
Good: 7 - 9 points		
Very Good: 10 – 12 points		
Excellent: 13 - 15 points		13
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b>		
<ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	
Weak: 0 - 2 points		
Adequate: 3 - 4 points		
Good: 5 - 6 points		
Very Good: 7 – 8 points		
Excellent: 9 - 10 points		9
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	

<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		25
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	85

## Capital Facilities Grant Scoring Sheet

<b>Tourism Development Council</b>		
<b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b> <i>Elizabeth Schneider</i>		
<b>REVIEWER (PRINT):</b> <i>Elizabeth Schneider</i>		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>	<i>22</i>	
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
<b>Weak: 0 - 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>	10	
<b>Excellent: 13 - 15 points</b>		
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
<b>Weak: 0 – 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>	9	
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b> <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		
<b>Excellent: 9 - 10 points</b>	9	
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	

<b>consideration.</b>			
<b>Weak: 0 – 6 points</b>			
<b>Adequate: 7 - 12 points</b>			
<b>Good: 13 - 18 points</b>		17	
<b>Very Good: 19 – 24 points</b>			
<b>Excellent: 25 - 30 points</b>			
<b>PROPOSAL SCORE (Maximum 100 points)</b>		<b>100</b>	67



*Pam S Rothenberg*

## Capital Facilities Grant Scoring Sheet

<b>Tourism Development Council</b>		
<b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b>		
<b>REVIEWER (PRINT):</b> Pam Rothenberg		
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		<b>10</b>
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 – 30 points</b>		
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
<b>Weak: 0 - 3 points</b>		
<b>Adequate: 4 - 6 points</b>		5
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
<b>Weak: 0 – 3 points</b>		3
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b> <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		9
<b>Excellent: 9 - 10 points</b>		
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	

<b>consideration.</b>		
<b>Weak: 0 – 6 points</b>		5
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	32

*Candace Rogers*  
7.28.2024

## Capital Facilities Grant Scoring Sheet

<b>Tourism Development Council</b>		
<b>FY 2024-2025 Capital Facilities Grant – Evaluation Form</b>		
<i>Requests must achieve a minimum rank score of 75% (75 points/100 points) to be considered for funding.</i>		
<b>REVIEWER (SIGNATURE):</b>	<i>Candace Rogers</i>	
<b>REVIEWER (PRINT):</b>	Candace Rogers	
<b>Applicant Information (TDO staff will complete this section)</b>		
<b>Project Title:</b> Cape Canaveral Lighthouse Foundation Two (2) Additional Cottages		
<b>Total Project Cost:</b> \$978,708		
<b>Requested Funding from TDC:</b> \$775,000		
<b>Applicant Match Amount:</b> \$203,708		
<b>Evaluation Criteria</b>	<b>Points Available</b>	<b>Points Earned</b>
<b>Promotes Tourism</b>		
<b>Proposal clearly demonstrates the need to implement the project and its positive impact on Brevard County Tourism. Proposal specifically cites the methodology used to quantify the project's benefit to tourism.</b>	<b>30</b>	
<b>Weak: 0 - 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 –18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 – 30 points</b>		<b>25</b>
<b>Project Viability</b>		

<b>Proposal clearly demonstrates the viability of the project including supporting documents such as: qualification, description, and projected cost.</b>	<b>15</b>	
<b>Weak: 0 - 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		<b>13</b>
<b>Increases Economic/Fiscal Activity</b>		
<b>Proposal clearly demonstrates the increase of economic/fiscal activity including impact of anticipated room nights, projected employees and impacts to the community.</b>	<b>15</b>	
<b>Weak: 0 – 3 points</b>		
<b>Adequate: 4 - 6 points</b>		
<b>Good: 7 - 9 points</b>		
<b>Very Good: 10 – 12 points</b>		
<b>Excellent: 13 - 15 points</b>		<b>14</b>
<b>Project Readiness</b>		
<b>Proposal clearly addresses the following components, for example but not limited to:</b> <ul style="list-style-type: none"> <li>• Status of required permits/approvals</li> <li>• Readiness to seek contract bids and start work</li> <li>• Schematic designs/renderings</li> </ul>	<b>10</b>	
<b>Weak: 0 - 2 points</b>		
<b>Adequate: 3 - 4 points</b>		
<b>Good: 5 - 6 points</b>		
<b>Very Good: 7 – 8 points</b>		
<b>Excellent: 9 - 10 points</b>		<b>10</b>
<b>Matching and/or Other Funding</b>		
<b>Proposal clearly demonstrates in detail all secured funding sources. Projects with matching funds will receive greater</b>	<b>30</b>	



consideration.		
<b>Weak: 0 – 6 points</b>		
<b>Adequate: 7 - 12 points</b>		
<b>Good: 13 - 18 points</b>		
<b>Very Good: 19 – 24 points</b>		
<b>Excellent: 25 - 30 points</b>		<b>26</b>
<b>PROPOSAL SCORE (Maximum 100 points)</b>	<b>100</b>	<b>88</b>

**Tourism Development Office**  
**FY 2024-2025 TDC Capital Facilities Grant Program**  
**Applicant Checklist**

Applicant Organization Name: Cape Canaveral Lighthouse Foundation

Applicant Project Name: Cape Canaveral Light Station Reconstruction – Phase 2

Name of Applicant Completing this Form: Becky Zingarelli, Museum Director

*Applicant- Use this checklist to confirm that you have completed all elements of the application prior to submitting. Then, initial next to each item. Items (2–9) must be uploaded with the on-line application.*

		Applicant Initial	TDO Staff Initial	TDO Staff Comments
1.	<b>Application</b> – (all questions must be fully answered with attention to grammar and typos)	Bz	JB	
2.	<b>Detailed budget worksheet</b> – (Projected facility operational revenue & expenses)	Bz	JB	
3.	<b>Third 3<sup>rd</sup> Party Economic and Fiscal Analysis</b> – (must include all the required elements per the guidelines and be directly generated for the project in the application)	Bz	JB	
4.	<b>Project Drawings and Renderings</b>	Bz	JB	
5.	<b>Copy of IRS Articles of Incorporation</b> – (if applicable, submit if for-profit corporation)	Bz	JB	
6.	<b>Copy of 501c3 IRS Determination Letter</b> – (if applicable)	Bz	JB	
7.	<b>Copy of SunBiz.com</b> - (if applicable)	Bz	JB	
8.	<b>PowerPoint Slides for Committee Presentation</b>	Bz	JB	
9.	<b>Copy of this Checklist</b> – (completed, initialed, and signed by applicant)	Bz	JB	

*I, consent that all above documents have been submitted completely by uploading within the on-line application packet.*

Becky Zingarelli 7/12/24  
Applicant Signature & Date

**Tourism Development Office**  
**FY 2024-2025 Capital Facilities Grant Program**  
**Checklist**

Applicant Organization Name: Cape Canaveral Lighthouse Foundation

Applicant Project Name: Two (2) Additional Cottages

	Yes	No	Comment
Does Capital Facilities grant application meet eligibility requirements per 125.0104(5), Florida Statutes and 102-119 Brevard County Code (3)(C)?	X		
A. If the venue is a convention center, sports stadium, sports arena, or coliseum, it must be publicly owned and operated.			
B. If the venue is a museum, zoological park, aquarium, fishing pier, or nature center, it must be either publicly owned and publicly operated, or owned and operated by a not-for-profit organization and open to the public.			
C. If the venue is an auditorium, it must be either publicly owned and publicly operated, or publicly owned and operated by a not-for-profit organization and open to the public.			
Completed Application	X		
Revenue and expense budget worksheet	X		
Third party economic and fiscal analysis for project	X		
Project drawings and renderings	X		
Letters of Support	X		
Copy of Articles of Incorporation – (if applicable)	X		

	Yes	No	Comments
e-Verify MOU or Proof of Registration	X		
Copy of IRS Determination letter – (if applicable)	X		
Copy of SunBiz.org	X		
PowerPoint Slides for Committee Presentation	X		
Copy of this Checklist	X		

*All documents have been submitted, reviewed and/or addressed in the comments.*

 7/22/2024

Peter Cranis, Executive Director



# ATTACHMENT 1

## OFFICIAL AND FINANCIAL DOCUMENTS

### IRS DOCUMENTS

- IRS Determination Letter for 501(c)3 Status pg. 2
- W-9 pg. 3
- 2022 Form 990 (note: 2023 990 not yet filed) pg. 4

### FLORIDA DOCUMENTS

- 2024 Annual Report pg. 35
- Sunbiz Detail By Entity Report pg. 36
- Consumer Certificate of Exemption pg. 39
- Articles of Incorporation pg. 40

### SPACE FORCE DOCUMENTS

- License to Use Property pg. 43
- Memorandum of Agreement pg. 73

### FINANCIAL DOCUMENTS

- June 2024 Statement of Financial Position pg. 77
- Proof of Match pg. 79
- 2023 Statement of Activity pg. 81
- Projected Revenue and Expenses Worksheet Notes pg. 84

### INSURANCE DOCUMENTS

- General Liability and Directors and Officers COI pg. 87
- Property COI pg. 88





Department of the Treasury  
Internal Revenue Service

P.O. Box 2508  
Cincinnati OH 45201

In reply refer to: 0248662390  
Apr. 07, 2011 LTR 4168C ED  
01-0655841 000000 00

00017077  
BODC: TE

CAPE CANAVERAL LIGHTHOUSE  
FOUNDATION INC



PO BOX 1978  
CPE CANAVERAL FL 32920-1978

10643

Employer Identification Number: 01-0655841  
Person to Contact: MR. PATTERSON  
Toll Free Telephone Number: 1-877-829-5500

Dear TAXPAYER:

This is in response to your Mar. 29, 2011, request for information regarding your tax-exempt status.

Our records indicate that you were recognized as exempt under section 501(c)(3) of the Internal Revenue Code in a determination letter issued in JULY 2002.

Our records also indicate that you are not a private foundation within the meaning of section 509(a) of the Code because you are described in section(s) 509(a)(1) and 170(b)(1)(A)(vi).

Donors may deduct contributions to you as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to you or for your use are deductible for Federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

Please refer to our website [www.irs.gov/efo](http://www.irs.gov/efo) for information regarding filing requirements. Specifically, section 6033(j) of the Code provides that failure to file an annual information return for three consecutive years results in revocation of tax-exempt status as of the filing due date of the third return for organizations required to file. We will publish a list of organizations whose tax-exempt status was revoked under section 6033(j) of the Code on our website beginning in early 2011.

**Request for Taxpayer  
Identification Number and Certification**

Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

Give form to the  
requester. Do not  
send to the IRS.

**Before you begin.** For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type.  
See Specific instructions on page 3.

1 Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.) <b>James Passarelli</b>	
2 Business name/disregarded entity name, if different from above. <b>Cape Canaveral Lighthouse Foundation</b>	
3a Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only one of the following seven boxes.  <input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C corporation <input type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner. <input checked="" type="checkbox"/> Other (see instructions) <b>Non-Profit</b>	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):  Exempt payee code (if any) _____  Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____  (Applies to accounts maintained outside the United States.)
3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions . . . . . <input type="checkbox"/>	
5 Address (number, street, and apt. or suite no.). See instructions. <b>PO Box 1978</b>	Requester's name and address (optional) <b>James Passarelli Treasurer, CCLF PO Box 1978 Cape Canaveral, FL 32920</b>
6 City, state, and ZIP code <b>Cape Canaveral, FL 32920</b>	
7 List account number(s) here (optional)	

**Part I Taxpayer Identification Number (TIN)**

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

**Note:** If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number								
			-				-	
or								
Employer identification number								
0	1	-	0	6	5	5	8	4

**Part II Certification**

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

**Sign Here**      Signature of U.S. person

Date

**5/24/24**

**General Instructions**

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

**What's New**

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

**Purpose of Form**

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they

# Return of Organization Exempt From Income Tax

OMB No. 1545-0047

**2022**

Under section 501(c), 527, or 4947(a)(1) of the Internal Revenue Code (except private foundations)

Do not enter social security numbers on this form as it may be made public.

Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for instructions and the latest information.

Open to Public  
Inspection

**A** For the 2022 calendar year, or tax year beginning **2022**, and ending **20**

<b>3</b> Check if applicable:  Address change  Name change  Initial return  Final return/terminated  Amended return  Application pending	<b>C</b> Name of organization <b>Cape Canaveral Lighthouse Foundation Inc</b>		<b>D</b> Employer identification number <b>01-0655841</b>
	Doing business as		<b>E</b> Telephone number
	Number and street (or P.O. box if mail is not delivered to street address) <b>PO Box 1978</b>	Room/suite	
	City or town, state or province, country, and ZIP or foreign postal code <b>Cape Canaveral, FL 32920</b>		
<b>F</b> Name and address of principal officer: <b>Larry Ostarly</b> <b>Same as C above</b>		<b>H(a)</b> Is this a group return for subordinates? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <b>H(b)</b> Are all subordinates included? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "No," attach a list. See instructions. <b>H(c)</b> Group exemption number:	
Tax-exempt status: <input checked="" type="checkbox"/> 501(c)(3) <input type="checkbox"/> 501(c)(1) (insert no.) <input type="checkbox"/> 4947(a)(1) or <input type="checkbox"/> 527			
Website: <b>www.canaverallight.org</b>			
Form of organization: <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Trust <input type="checkbox"/> Association <input type="checkbox"/> Other		<b>L</b> Year of formation: <b>2002</b>	<b>M</b> State of legal domicile: <b>FL</b>

**Part I Summary**

<b>Activities &amp; Governance</b>	<b>1</b> Briefly describe the organization's mission or most significant activities: <b>Established to preserve the history, provide needed maintenance, and provide education on the historic significance of the Cape Canaveral Lighthouse including the construction of cottages to house historic and educational information.</b>		
	<b>2</b> Check this box <input type="checkbox"/> If the organization discontinued its operations or disposed of more than 25% of its net assets.		
	<b>3</b> Number of voting members of the governing body (Part VI, line 1a)	<b>3</b>	<b>22</b>
	<b>4</b> Number of independent voting members of the governing body (Part VI, line 1b)	<b>4</b>	<b>22</b>
<b>Revenue</b>	<b>5</b> Total number of individuals employed in calendar year 2022 (Part V, line 2a)	<b>5</b>	<b>0</b>
	<b>6</b> Total number of volunteers (estimate if necessary)	<b>6</b>	<b>80</b>
	<b>7a</b> Total unrelated business revenue from Part VIII, column (C), line 12	<b>7a</b>	<b>0</b>
	<b>b</b> Net unrelated business taxable income from Form 990-T, Part I, line 11	<b>7b</b>	<b>0</b>
<b>Expenses</b>	<b>8</b> Contributions and grants (Part VIII, line 1h)	<b>Prior Year</b>	<b>Current Year</b>
	<b>9</b> Program service revenue (Part VIII, line 2g)	<b>72,606</b>	<b>71,873</b>
	<b>10</b> Investment income (Part VIII, column (A), lines 3, 4, and 7d)		<b>0</b>
	<b>11</b> Other revenue (Part VIII, column (A), lines 5, 6d, 8c, 9c, 10c, and 11e)	<b>35,330</b>	<b>29,902</b>
	<b>12</b> Total revenue - add lines 8 through 11 (must equal Part VIII, column (A), line 12)	<b>107,936</b>	<b>101,775</b>
	<b>13</b> Grants and similar amounts paid (Part IX, column (A), lines 1-3)		<b>0</b>
	<b>14</b> Benefits paid to or for members (Part IX, column (A), line 4)		<b>0</b>
	<b>15</b> Salaries, other compensation, employee benefits (Part IX, column (A), lines 5-10)		<b>0</b>
	<b>16a</b> Professional fundraising fees (Part IX, column (A), line 11e)		<b>0</b>
	<b>b</b> Total fundraising expenses (Part IX, column (D), line 25)	<b>27,476</b>	
<b>Net Assets or Fund Balances</b>	<b>17</b> Other expenses (Part IX, column (A), lines 11a-11d, 11f-24e)	<b>73,055</b>	<b>70,982</b>
	<b>18</b> Total expenses. Add lines 13-17 (must equal Part IX, column (A), line 25)	<b>73,055</b>	<b>70,982</b>
	<b>19</b> Revenue less expenses. Subtract line 18 from line 12	<b>34,881</b>	<b>30,793</b>
	<b>20</b> Total assets (Part X, line 16)	<b>Beginning of Current Year</b>	<b>End of Year</b>
<b>21</b> Total liabilities (Part X, line 26)	<b>1,066,407</b>	<b>1,099,284</b>	
<b>22</b> Net assets or fund balances. Subtract line 21 from line 20	<b>(689)</b>	<b>1,395</b>	
	<b>1,067,096</b>	<b>1,097,889</b>	

**Part II Signature Block**

Under penalties of perjury, I declare that I have examined this return, including accompanying schedules and statements, and to the best of my knowledge and belief, it is true, correct, and complete. Declaration of preparer (other than officer) is based on all information of which preparer has any knowledge.

<b>Signature</b>	<b>Brendan McMillin</b>	<b>Date</b>		
	<b>Signature of officer</b>			
<b>Preparer</b>	<b>Brendan McMillin, Treasurer</b>	<b>Date</b>		
	<b>Type or print name and title</b>			
<b>Preparer's Information</b>	<b>Print/Type preparer's name</b>	<b>Preparer's signature</b>	<b>Date</b>	<b>Check <input checked="" type="checkbox"/> if PTIN</b>
	<b>Mary L Young CPA CMA</b>		<b>12-11-2023</b>	<b>self-employed</b>
	<b>Firm's name</b>	<b>Mary Louise E Young CPA</b>	<b>Firm's EIN</b>	<b>P00143230</b>
	<b>Firm's address</b>	<b>1353 N Courtenay Pkwy Ste O</b> <b>Merritt Island FL 32953</b>	<b>Phone no.</b>	<b>321-454-4480</b>

By the IRS discuss this return with the preparer shown above? See instructions ☒ Yes ☐ No

**Paperwork Reduction Act Notice, see the separate instructions.** Form **990** (2022)

**Part III** Statement of Program Service Accomplishments

Check if Schedule O contains a response or note to any line in this Part III ☐

1 Briefly describe the organization's mission:

Established to preserve the history, provide needed maintenance, and provide education on the historic significance of the Cape Canaveral Lighthouse including the construction of cottages to house historic and educational information.

2 Did the organization undertake any significant program services during the year which were not listed on the prior Form 990 or 990-EZ? ☐ Yes ☒ No

If "Yes," describe these new services on Schedule O.

3 Did the organization cease conducting, or make significant changes in how it conducts, any program services? ☐ Yes ☒ No

If "Yes," describe these changes on Schedule O.

4 Describe the organization's program service accomplishments for each of its three largest program services, as measured by expenses. Section 501(c)(3) and 501(c)(4) organizations are required to report the amount of grants and allocations to others, the total expenses, and revenue, if any, for each program service reported.

4a (Code: ) (Expenses \$ 32,312 including grants of \$ ) (Revenue \$ )

The Foundation has regularly scheduled weekly public tours of the lighthouse and the surrounding grounds including the new Keepers Cottage.

4b (Code: ) (Expenses \$ including grants of \$ ) (Revenue \$ )

4c (Code: ) (Expenses \$ including grants of \$ ) (Revenue \$ )

4d Other program services (Describe on Schedule O.)

(Expenses \$ including grants of \$ ) (Revenue \$ )

4e Total program service expenses 32,312



**Part IV Checklist of Required Schedules**

	Yes	No
1 Is the organization described in section 501(c)(3) or 4947(a)(1) (other than a private foundation)? If "Yes," complete Schedule A	<input checked="" type="checkbox"/>	
2 Is the organization required to complete Schedule B, Schedule of Contributors? See instructions	<input checked="" type="checkbox"/>	
3 Did the organization engage in direct or indirect political campaign activities on behalf of or in opposition to candidates for public office? If "Yes," complete Schedule C, Part I		<input checked="" type="checkbox"/>
4 Section 501(c)(3) organizations. Did the organization engage in lobbying activities, or have a section 501(h) election in effect during the tax year? If "Yes," complete Schedule C, Part II		<input checked="" type="checkbox"/>
5 Is the organization a section 501(c)(4), 501(c)(5), or 501(c)(6) organization that receives membership dues, assessments, or similar amounts as defined in Rev. Proc. 98-19? If "Yes," complete Schedule C, Part III		<input checked="" type="checkbox"/>
6 Did the organization maintain any donor advised funds or any similar funds or accounts for which donors have the right to provide advice on the distribution or investment of amounts in such funds or accounts? If "Yes," complete Schedule D, Part I		<input checked="" type="checkbox"/>
7 Did the organization receive or hold a conservation easement, including easements to preserve open space, the environment, historic land areas, or historic structures? If "Yes," complete Schedule D, Part II		<input checked="" type="checkbox"/>
8 Did the organization maintain collections of works of art, historical treasures, or other similar assets? If "Yes," complete Schedule D, Part III		<input checked="" type="checkbox"/>
9 Did the organization report an amount in Part X, line 21, for escrow or custodial account liability, serve as a custodian for amounts not listed in Part X, or provide credit counseling, debt management, credit repair, or debt negotiation services? If "Yes," complete Schedule D, Part IV		<input checked="" type="checkbox"/>
10 Did the organization, directly or through a related organization, hold assets in donor-restricted endowments or in quasi endowments? If "Yes," complete Schedule D, Part V		<input checked="" type="checkbox"/>
11 If the organization's answer to any of the following questions is "Yes," then complete Schedule D, Parts VI, VII, VIII, IX, or X as applicable.		
a Did the organization report an amount for land, buildings, and equipment in Part X, line 10? If "Yes," complete Schedule D, Part VI	<input checked="" type="checkbox"/>	
b Did the organization report an amount for investments - other securities in Part X, line 12, that is 5% or more of its total assets reported in Part X, line 16? If "Yes," complete Schedule D, Part VII		<input checked="" type="checkbox"/>
c Did the organization report an amount for investments - program related in Part X, line 13, that is 5% or more of its total assets reported in Part X, line 16? If "Yes," complete Schedule D, Part VIII		<input checked="" type="checkbox"/>
d Did the organization report an amount for other assets in Part X, line 15, that is 5% or more of its total assets reported in Part X, line 16? If "Yes," complete Schedule D, Part IX		<input checked="" type="checkbox"/>
e Did the organization report an amount for other liabilities in Part X, line 25? If "Yes," complete Schedule D, Part X		<input checked="" type="checkbox"/>
f Did the organization's separate or consolidated financial statements for the tax year include a footnote that addresses the organization's liability for uncertain tax positions under FIN 48 (ASC 740)? If "Yes," complete Schedule D, Part X		<input checked="" type="checkbox"/>
12a Did the organization obtain separate, independent audited financial statements for the tax year? If "Yes," complete Schedule D, Parts XI and XII		<input checked="" type="checkbox"/>
b Was the organization included in consolidated, independent audited financial statements for the tax year? If "Yes," and if the organization answered "No" to line 12a, then completing Schedule D, Parts XI and XII is optional		<input checked="" type="checkbox"/>
13 Is the organization a school described in section 170(b)(1)(A)(ii)? If "Yes," complete Schedule E		<input checked="" type="checkbox"/>
14a Did the organization maintain an office, employees, or agents outside of the United States?		<input checked="" type="checkbox"/>
b Did the organization have aggregate revenues or expenses of more than \$10,000 from grantmaking, fundraising, business, investment, and program service activities outside the United States, or aggregate foreign investments valued at \$100,000 or more? If "Yes," complete Schedule F, Parts I and IV		<input checked="" type="checkbox"/>
15 Did the organization report on Part IX, column (A), line 3, more than \$5,000 of grants or other assistance to or for any foreign organization? If "Yes," complete Schedule F, Parts II and IV		<input checked="" type="checkbox"/>
16 Did the organization report on Part IX, column (A), line 3, more than \$5,000 of aggregate grants or other assistance to or for foreign individuals? If "Yes," complete Schedule F, Parts III and IV		<input checked="" type="checkbox"/>
17 Did the organization report a total of more than \$15,000 of expenses for professional fundraising services on Part IX, column (A), lines 8 and 11e? If "Yes," complete Schedule G, Part I. See instructions		<input checked="" type="checkbox"/>
18 Did the organization report more than \$15,000 total of fundraising event gross income and contributions on Part VIII, lines 1c and 8a? If "Yes," complete Schedule G, Part II	<input checked="" type="checkbox"/>	
19 Did the organization report more than \$15,000 of gross income from gaming activities on Part VIII, line 9a? If "Yes," complete Schedule G, Part III		<input checked="" type="checkbox"/>
20a Did the organization operate one or more hospital facilities? If "Yes," complete Schedule H		<input checked="" type="checkbox"/>
b If "Yes" to line 20a, did the organization attach a copy of its audited financial statements to this return?		<input checked="" type="checkbox"/>
21 Did the organization report more than \$5,000 of grants or other assistance to any domestic organization or domestic government on Part IX, column (A), line 1? If "Yes," complete Schedule I, Parts I and II		<input checked="" type="checkbox"/>



**Part IV** Checklist of Required Schedules (continued)

	Yes	No
<b>22</b> Did the organization report more than \$5,000 of grants or other assistance to or for domestic individuals on Part IX, column (A), line 2? If "Yes," complete Schedule I, Parts I and III . . . . .		X
<b>23</b> Did the organization answer "Yes" to Part VII, Section A, line 3, 4, or 5 about compensation of the organization's current and former officers, directors, trustees, key employees, and highest compensated employees? If "Yes," complete Schedule J . . . . .		X
<b>24a</b> Did the organization have a tax-exempt bond issue with an outstanding principal amount of more than \$100,000 as of the last day of the year, that was issued after December 31, 2002? If "Yes," answer lines 24b through 24d and complete Schedule K. If "No," go to line 25a . . . . .		X
<b>b</b> Did the organization invest any proceeds of tax-exempt bonds beyond a temporary period exception? . . . . .		
<b>c</b> Did the organization maintain an escrow account other than a refunding escrow at any time during the year to defease any tax-exempt bonds? . . . . .		
<b>d</b> Did the organization act as an "on behalf of" issuer for bonds outstanding at any time during the year? . . . . .		
<b>25a</b> <b>Section 501(c)(3), 501(c)(4), and 501(c)(29) organizations.</b> Did the organization engage in an excess benefit transaction with a disqualified person during the year? If "Yes," complete Schedule L, Part I . . . . .		X
<b>b</b> Is the organization aware that it engaged in an excess benefit transaction with a disqualified person in a prior year, and that the transaction has not been reported on any of the organization's prior Forms 990 or 990-EZ? If "Yes," complete Schedule L, Part I . . . . .		X
<b>26</b> Did the organization report any amount on Part X, line 5 or 22, for receivables from or payables to any current or former officer, director, trustee, key employee, creator or founder, substantial contributor, or 35% controlled entity or family member or any of these persons? If "Yes," complete Schedule L, Part II . . . . .		X
<b>27</b> Did the organization provide a grant or other assistance to any current or former officer, director, trustee, key employee, creator or founder, substantial contributor or employee thereof, a grant selection committee member, or to a 35% controlled entity (including an employee thereof) or family member of any of these persons? If "Yes," complete Schedule L, Part III . . . . .		X
<b>28</b> Was the organization a party to a business transaction with one of the following parties (see the Schedule L, Part IV, instructions, for applicable filing thresholds, conditions, and exceptions):		
<b>a</b> A current or former officer, director, trustee, key employee, creator or founder, or substantial contributor? If "Yes," complete Schedule L, Part IV . . . . .		X
<b>b</b> A family member of any individual described in line 28a? If "Yes," complete Schedule L, Part IV . . . . .		X
<b>c</b> A 35% controlled entity of one or more individuals and/or organizations described in line 28a or 28b? If "Yes," complete Schedule L, Part IV . . . . .		X
<b>29</b> Did the organization receive more than \$25,000 in non-cash contributions? If "Yes," complete Schedule M . . . . .		X
<b>30</b> Did the organization receive contributions of art, historical treasures, or other similar assets, or qualified conservation contributions? If "Yes," complete Schedule M . . . . .		X
<b>31</b> Did the organization liquidate, terminate, or dissolve and cease operations? If "Yes," complete Schedule N, Part I . . . . .		X
<b>32</b> Did the organization sell, exchange, dispose of, or transfer more than 25% of its net assets? If "Yes," complete Schedule N, Part II . . . . .		X
<b>33</b> Did the organization own 100% of an entity disregarded as separate from the organization under Regulations sections 301.7701-2 and 301.7701-3? If "Yes," complete Schedule R, Part I . . . . .		X
<b>34</b> Was the organization related to any tax-exempt or taxable entity? If "Yes," complete Schedule R, Part II, III, or IV, and Part V, line 1 . . . . .		X
<b>35a</b> Did the organization have a controlled entity within the meaning of section 512(b)(13)? . . . . .		X
<b>b</b> If "Yes" to line 35a, did the organization receive any payment from or engage in any transaction with a controlled entity within the meaning of section 512(b)(13)? If "Yes," complete Schedule R, Part V, line 2 . . . . .		X
<b>36</b> <b>Section 501(c)(3) organizations.</b> Did the organization make any transfers to an exempt non-charitable related organization? If "Yes," complete Schedule R, Part V, line 2 . . . . .		X
<b>37</b> Did the organization conduct more than 5% of its activities through an entity that is not a related organization and that is treated as a partnership for federal income tax purposes? If "Yes," complete Schedule R, Part VI . . . . .		X
<b>38</b> Did the organization complete Schedule O and provide explanations on Schedule O for Part VI, lines 11b and 19? <b>Note:</b> All Form 990 filers are required to complete Schedule O . . . . .	X	

**Part V** Statements Regarding Other IRS Filings and Tax ComplianceCheck if Schedule O contains a response or note to any line in this Part V ☐

	Yes	No
<b>1a</b> Enter the number reported in Box 3 of Form 1099. Enter -0- if not applicable . . . . .		
<b>b</b> Enter the number of Forms W-2G included in line 1a. Enter -0- if not applicable . . . . .		
<b>c</b> Did the organization comply with backup withholding rules for reportable payments to vendors and reportable gaming (gambling) winnings to prize winners? . . . . .	X	

Part V Statements Regarding Other IRS Filings and Tax Compliance (continued)		Yes	No
2a	Enter the number of employees reported on Form W-3, Transmittal of Wage and Tax Statements, filed for the calendar year ending with or within the year covered by this return . . . . .	2a	0
b	If at least one is reported on line 2a, did the organization file all required federal employment tax returns? . . . . .	2b	X
3a	Did the organization have unrelated business gross income of \$1,000 or more during the year? . . . . .	3a	X
b	If "Yes," has it filed a Form 990-T for this year? If "No" to line 3b, provide an explanation on Schedule O . . . . .	3b	
4a	At any time during the calendar year, did the organization have an interest in, or a signature or other authority over, a financial account in a foreign country (such as a bank account, securities account, or other financial account)? . . . . .	4a	X
b	If "Yes," enter the name of the foreign country . . . . . See instructions for filing requirements for FinCEN Form 114, Report of Foreign Bank and Financial Accounts (FBAR).		
5a	Was the organization a party to a prohibited tax shelter transaction at any time during the tax year? . . . . .	5a	X
b	Did any taxable party notify the organization that it was or is a party to a prohibited tax shelter transaction? . . . . .	5b	X
c	If "Yes" to line 5a or 5b, did the organization file Form 8886-T? . . . . .	5c	
6a	Does the organization have annual gross receipts that are normally greater than \$100,000, and did the organization solicit any contributions that were not tax deductible as charitable contributions? . . . . .	6a	X
b	If "Yes," did the organization include with every solicitation an express statement that such contributions or gifts were not tax deductible? . . . . .	6b	
7	Organizations that may receive deductible contributions under section 170(c).		
a	Did the organization receive a payment in excess of \$75 made partly as a contribution and partly for goods and services provided to the payor? . . . . .	7a	X
b	If "Yes," did the organization notify the donor of the value of the goods or services provided? . . . . .	7b	X
c	Did the organization sell, exchange, or otherwise dispose of tangible personal property for which it was required to file Form 8282? . . . . .	7c	
d	If "Yes," indicate the number of Forms 8282 filed during the year . . . . .	7d	
e	Did the organization receive any funds, directly or indirectly, to pay premiums on a personal benefit contract? . . . . .	7e	
f	Did the organization, during the year, pay premiums, directly or indirectly, on a personal benefit contract? . . . . .	7f	
g	If the organization received a contribution of qualified intellectual property, did the organization file Form 8899 as required? . . . . .	7g	
h	If the organization received a contribution of cars, boats, airplanes, or other vehicles, did the organization file a Form 1098-C? . . . . .	7h	
8	Sponsoring organizations maintaining donor advised funds. Did a donor advised fund maintained by the sponsoring organization have excess business holdings at any time during the year? . . . . .	8	
9	Sponsoring organizations maintaining donor advised funds.		
a	Did the sponsoring organization make any taxable distributions under section 4966? . . . . .	9a	
b	Did the sponsoring organization make a distribution to a donor, donor advisor, or related person? . . . . .	9b	
10	Section 501(c)(7) organizations. Enter:		
a	Initiation fees and capital contributions included on Part VIII, line 12 . . . . .	10a	
b	Gross receipts, included on Form 990, Part VIII, line 12, for public use of club facilities . . . . .	10b	
11	Section 501(c)(12) organizations. Enter:		
a	Gross income from members or shareholders . . . . .	11a	
b	Gross income from other sources (Do not net amounts due or paid to other sources against amounts due or received from them.) . . . . .	11b	
12a	Section 4947(a)(1) non-exempt charitable trusts. Is the organization filing Form 990 in lieu of Form 1041? . . . . .	12a	
b	If "Yes," enter the amount of tax-exempt interest received or accrued during the year . . . . .	12b	
13	Section 501(c)(29) qualified nonprofit health insurance issuers.		
a	Is the organization licensed to issue qualified health plans in more than one state? . . . . . Note: See the instructions for additional information the organization must report on Schedule O.	13a	
b	Enter the amount of reserves the organization is required to maintain by the states in which the organization is licensed to issue qualified health plans . . . . .	13b	
c	Enter the amount of reserves on hand . . . . .	13c	
14a	Did the organization receive any payments for indoor tanning services during the tax year? . . . . .	14a	X
b	If "Yes," has it filed a Form 720 to report these payments? If "No," provide an explanation on Schedule O . . . . .	14b	
15	Is the organization subject to the section 4960 tax on payment(s) of more than \$1,000,000 in remuneration or excess parachute payment(s) during the year? . . . . . If "Yes," see the instructions and file Form 4720, Schedule N.	15	X
16	Is the organization an educational institution subject to the section 4968 excise tax on net investment income? . . . . . If "Yes," complete Form 4720, Schedule O.	16	X
17	Section 501(c)(21) organizations. Did the trust, or any any disqualified or other person engage in any activities that would result in the imposition of an excise tax under section 4961, 4952 or 4953? . . . . . If "Yes," complete Form 6069.	17	

**Part VI****Governance, Management, and Disclosure**

For each "Yes" response to lines 2 through 7b below, and for a "No" response to line 8a, 8b, or 10b below, describe the circumstances, processes, or changes in Schedule O. See instructions.

Check if Schedule O contains a response or note to any line in this Part VI

☒**Section A. Governing Body and Management**

	1a	22	Yes	No
<b>1a</b> Enter the number of voting members of the governing body at the end of the tax year . . . . . If there are material differences in voting rights among members of the governing body, or if the governing body delegated broad authority to an executive committee or similar committee, explain on Schedule O.		22		
<b>b</b> Enter the number of voting members included in line 1a, above, who are independent . . . . .	1b	22		
<b>2</b> Did any officer, director, trustee, or key employee have a family relationship or a business relationship with any other officer, director, trustee, or key employee? . . . . .		2		X
<b>3</b> Did the organization delegate control over management duties customarily performed by or under the direct supervision of officers, directors, trustees, or key employees to a management company or other person? . . . . .		3		X
<b>4</b> Did the organization make any significant changes to its governing documents since the prior Form 990 was filed? . . . . .		4		X
<b>5</b> Did the organization become aware during the year of a significant diversion of the organization's assets? . . . . .		5		X
<b>6</b> Did the organization have members or stockholders? . . . . .		6	X	
<b>7a</b> Did the organization have members, stockholders, or other persons who had the power to elect or appoint one or more members of the governing body? . . . . .		7a		X
<b>b</b> Are any governance decisions of the organization reserved to (or subject to approval by) members, stockholders, or persons other than the governing body? . . . . .		7b		X
<b>8</b> Did the organization contemporaneously document the meetings held or written actions undertaken during the year by the following:				
<b>a</b> The governing body? . . . . .		8a	X	
<b>b</b> Each committee with authority to act on behalf of the governing body? . . . . .		8b	X	
<b>9</b> Is there any officer, director, trustee, or key employee listed in Part VII, Section A, who cannot be reached at the organization's mailing address? If "Yes," provide the names and addresses on Schedule O . . . . .		9		X

**Section B. Policies** (This Section B requests information about policies not required by the Internal Revenue Code.)

	Yes	No
<b>10a</b> Did the organization have local chapters, branches, or affiliates? . . . . .		X
<b>b</b> If "Yes," did the organization have written policies and procedures governing the activities of such chapters, affiliates, and branches to ensure their operations are consistent with the organization's exempt purposes? . . . . .		
<b>11a</b> Has the organization provided a complete copy of this Form 990 to all members of its governing body before filing the form? . . . . .	X	
<b>b</b> Describe on Schedule O the process, if any, used by the organization to review this Form 990.		
<b>12a</b> Did the organization have a written conflict of interest policy? If "No," go to line 13 . . . . .		X
<b>b</b> Were officers, directors, or trustees, and key employees required to disclose annually interests that could give rise to conflicts? . . . . .		
<b>c</b> Did the organization regularly and consistently monitor and enforce compliance with the policy? If "Yes," describe on Schedule O how this was done . . . . .		
<b>13</b> Did the organization have a written whistleblower policy? . . . . .		X
<b>14</b> Did the organization have a written document retention and destruction policy? . . . . .		X
<b>15</b> Did the process for determining compensation of the following persons include a review and approval by independent persons, comparability data, and contemporaneous substantiation of the deliberation and decision?		
<b>a</b> The organization's CEO, Executive Director, or top management official . . . . .		X
<b>b</b> Other officers or key employees of the organization . . . . .		X
If "Yes" to line 15a or 15b, describe the process on Schedule O. See instructions.		
<b>16a</b> Did the organization invest in, contribute assets to, or participate in a joint venture or similar arrangement with a taxable entity during the year? . . . . .		X
<b>b</b> If "Yes," did the organization follow a written policy or procedure requiring the organization to evaluate its participation in joint venture arrangements under applicable federal tax law, and take steps to safeguard the organization's exempt status with respect to such arrangements? . . . . .		X

**Section C. Disclosure**

- 17** List the states with which a copy of this Form 990 is required to be filed Florida
- 18** Section 6104 requires an organization to make its Forms 1023 (1024 or 1024-A, if applicable), 990, and 990-T (section 501(c)(3)s only) available for public inspection. Indicate how you made these available. Check all that apply.  
☐ Own website ☒ Another's website ☒ Upon request ☐ Other (explain on Schedule O)
- 19** Describe on Schedule O whether (and if so, how) the organization made its governing documents, conflict of interest policy, and financial statements available to the public during the tax year.
- 20** State the name, address, and telephone number of the person who possesses the organization's books and records.

Brendan McMillin (321)459-3363, PO Box 1978, Cape Canaveral, FL 32920

**Part VII Compensation of Officers, Directors, Trustees, Key Employees, Highest Compensated Employees, and Independent Contractors**Check if Schedule O contains a response or note to any line in this Part VII ☐**Section A. Officers, Directors, Trustees, Key Employees, and Highest Compensated Employees**

1a Complete this table for all persons required to be listed. Report compensation for the calendar year ending with or within the organization's tax year.

- List all of the organization's **current** officers, directors, trustees (whether individuals or organizations), regardless of amount of compensation. Enter -0- in columns (D), (E), and (F) if no compensation was paid.
- List all of the organization's **current** key employees, if any. See the instructions for definition of "key employee."
- List the organization's **five current** highest compensated employees (other than an officer, director, trustee, or key employee) who received reportable compensation (box 5 of Form W-2, box 6 of Form 1099-MISC, and/or box 1 of Form 1099-NEC) of more than \$100,000 from the organization and any related organizations.
- List all of the organization's **former** officers, key employees, and highest compensated employees who received more than \$100,000 of reportable compensation from the organization and any related organizations.
- List all of the organization's **former** directors or trustees that received, in the capacity as a former director or trustee of the organization, more than \$10,000 of reportable compensation from the organization and any related organizations.

See instructions for the order in which to list the persons above.

☒ Check this box if neither the organization nor any related organization compensated any current officer, director, or trustee.

(A) Name and title	(B) Average hours per week (list any hours for related organizations below dotted line)	(C) Position (do not check more than one box, unless person is both an officer and a director/trustee)						(D) Reportable compensation from the organization (W-2/1099-MISC/1099-NEC)	(E) Reportable compensation from related organizations (W-2/1099-MISC/1099-NEC)	(F) Estimated amount of other compensation from the organization and related organizations
		Individual trustee or director	Institutional trustee	Officer	Key employee	Highest compensated employee	Former			
(1) Jeanna Merrifield Director	2.00	X						0	0	0
(2) Bev Merrifield Director	2.00	X						0	0	0
(3) Patricia Lautner Director	1.00	X						0	0	0
(4) Nancy Garwood Director	1.00	X						0	0	0
(5) Rocky Johnson Director	1.00	X						0	0	0
(6) R Norman Woody Director	0.50	X						0	0	0
(7) Ed Wilson Director	0.50	X						0	0	0
(8) Lisa Wilson Director	0.50	X						0	0	0
(9) Shane Smith Director	0.50	X						0	0	0
(10) Mary Anne Moore Director	0.50	X						0	0	0
(11) Dixie Sansom Director	0.50	X						0	0	0
(12) Barry Compagnoni Director	1.00	X						0	0	0
(13) Karen Arbuckle Director	4.00	X						0	0	0
(14) James Underwood Officer	2.00	X						0	0	0

**Part VII Section A. Officers, Directors, Trustees, Key Employees, and Highest Compensated Employees** (continued)

(A) Name and title	(B) Average hours per week (list any hours for related organizations below dotted line)	(C) Position (do not check more than one box, unless person is both an officer and a director/trustee)						(D) Reportable compensation from the organization (W-2/ 1099-MISC/ 1099-NEC)	(E) Reportable compensation from related organizations (W-2/ 1099-MISC/ 1099-NEC)	(F) Estimated amount of other compensation from the organization and related organizations
		Individual trustee or director	Institutional trustee	Officer	Key employee	Highest compensated employee	Former			
(15) George Rustis Director	1.00	X						0	0	0
(16) Chris Ecker Director	2.00	X						0	0	0
(17) Sharon Crockett Director	1.00	X						0	0	0
(18) Ronald Ecker 1st Vice President	2.00			X				0	0	0
(19) Larry Ostarly President	10.00			X				0	0	0
(20) Todd McDowell 2nd Vice President	2.00			X				0	0	0
(21) Cheryl Bennett Secretary	4.00			X				0	0	0
(22) Brendan McMillin Treasurer	5.00			X				0	0	0
(23)										
(24)										
(25)										
<b>1b Subtotal</b>										
<b>c Total from continuation sheets to Part VII, Section A</b>										
<b>d Total (add lines 1b and 1c)</b>								0	0	0

**2** Total number of individuals (including but not limited to those listed above) who received more than \$100,000 of reportable compensation from the organization

0

**3** Did the organization list any former officer, director, trustee, key employee, or highest compensated employee on line 1a? If "Yes," complete Schedule J for such individual

	Yes	No
<b>3</b>		X

**4** For any individual listed on line 1a, is the sum of reportable compensation and other compensation from the organization and related organizations greater than \$150,000? If "Yes," complete Schedule J for such individual

	Yes	No
<b>4</b>		X

**5** Did any person listed on line 1a receive or accrue compensation from any unrelated organization or individual for services rendered to the organization? If "Yes," complete Schedule J for such person

	Yes	No
<b>5</b>		X

**Section B. Independent Contractors**

**1** Complete this table for your five highest compensated independent contractors that received more than \$100,000 of compensation from the organization. Report compensation for the calendar year ending with or within the organization's tax year

(A) Name and business address	(B) Description of services	(C) Compensation

**2** Total number of independent contractors (including but not limited to those listed above) who received more than \$100,000 of compensation from the organization



**Part VIII** Statement of Revenue

Check if Schedule O contains a response or note to any line in this Part VIII

☒

			(A) Total revenue	(B) Related or exempt function revenue	(C) Unrelated business revenue	(D) Revenue excluded from tax under sections 512-514
<b>Contributions, Gifts, Grants and Other Similar Amounts</b>	<b>1a</b> Federated campaigns	<b>1a</b>				
	<b>b</b> Membership dues	<b>1b</b> 23,250				
	<b>c</b> Fundraising events	<b>1c</b> 20,080				
	<b>d</b> Related organizations	<b>1d</b>				
	<b>e</b> Government grants (contributions)	<b>1e</b>				
	<b>f</b> All other contributions, gifts, grants, and similar amounts not included above	<b>1f</b> 28,543				
	<b>g</b> Noncash contributions included in lines 1a-1f	<b>1g</b> \$ 9,517				
	<b>h</b> Total. Add lines 1a-1f		71,873			
<b>Program Service Revenue</b>	<b>2a</b> Business Code					
	<b>b</b>					
	<b>c</b>					
	<b>d</b>					
	<b>e</b>					
	<b>f</b> All other program service revenue					
	<b>g</b> Total. Add lines 2a-2f					
<b>Other Revenue</b>	<b>3</b> Investment income (including dividends, interest, and other similar amounts)					
	<b>4</b> Income from investment of tax-exempt bond proceeds					
	<b>5</b> Royalties					
	<b>6a</b> Gross rents	<b>6a</b>	(i) Real	(ii) Personal		
	<b>b</b> Less: rental expenses	<b>6b</b>				
	<b>c</b> Rental income or (loss)	<b>6c</b>				
	<b>d</b> Net rental income or (loss)					
	<b>7a</b> Gross amount from sales of assets other than inventory	<b>7a</b>	(i) Securities	(ii) Other		
	<b>b</b> Less: cost or other basis and sales expenses	<b>7b</b>				
	<b>c</b> Gain or (loss)	<b>7c</b>				
	<b>d</b> Net gain or (loss)					
	<b>8a</b> Gross income from fundraising events (not including \$ 20,080 of contributions reported on line 1c). See Part IV, line 18	<b>8a</b> 34,921				
	<b>b</b> Less: direct expenses	<b>8b</b> 22,096				
	<b>c</b> Net income or (loss) from fundraising events		12,825			12,825
	<b>9a</b> Gross income from gaming activities. See Part IV, line 19	<b>9a</b>				
<b>b</b> Less: direct expenses	<b>9b</b>					
<b>c</b> Net income or (loss) from gaming activities						
<b>10a</b> Gross sales of inventory, less returns and allowances	<b>10a</b> 39,327					
<b>b</b> Less: cost of goods sold	<b>10b</b> 22,250					
<b>c</b> Net income or (loss) from sales of inventory		17,077	17,077			
<b>Miscellaneous Revenue</b>	<b>11a</b> Business Code					
	<b>b</b>					
	<b>c</b>					
	<b>d</b> All other revenue					
	<b>e</b> Total. Add lines 11a-11d					
<b>12</b> Total revenue. See instructions			101,775	17,077	0	12,825

**Part IX Statement of Functional Expenses**

Section 501(c)(3) and 501(c)(4) organizations must complete all columns. All other organizations must complete column (A).

Check if Schedule O contains a response or note to any line in this Part IX ☒**Do not include amounts reported on lines 6b, 7b, 8b, 9b, and 10b of Part VIII.**

	(A) Total expenses	(B) Program service expenses	(C) Management and general expenses	(D) Fundraising expenses
1 Grants and other assistance to domestic organizations and domestic governments. See Part IV, line 21 . . .				
2 Grants and other assistance to domestic individuals. See Part IV, line 22 . . . . .				
3 Grants and other assistance to foreign organizations, foreign governments, and foreign individuals. See Part IV, lines 15 and 16 . . . .				
4 Benefits paid to or for members . . . . .				
5 Compensation of current officers, directors, trustees, and key employees . . . . .				
6 Compensation not included above to disqualified persons (as defined under section 4958(f)(1)) and persons described in section 4958(c)(3)(B) . . . . .				
7 Other salaries and wages . . . . .				
8 Pension plan accruals and contributions (include section 401(k) and 403(b) employer contributions) . .				
9 Other employee benefits . . . . .				
10 Payroll taxes . . . . .				
11 Fees for services (nonemployees):				
a Management . . . . .				
b Legal . . . . .				
c Accounting . . . . .	3,175	1,651	127	1,397
d Lobbying . . . . .				
e Professional fundraising services. See Part IV, line 17 .				
f Investment management fees . . . . .				
g Other. (If line 11g amount exceeds 10% of line 25, column (A) amount, list line 11g expenses on Schedule O.) . .				
12 Advertising and promotion . . . . .	409	213	16	180
13 Office expenses . . . . .	10,581	601	9,472	508
14 Information technology . . . . .				
15 Royalties . . . . .				
16 Occupancy . . . . .	982	511	39	432
17 Travel . . . . .				
18 Payments of travel or entertainment expenses for any federal, state, or local public officials . . . . .				
19 Conferences, conventions, and meetings . . . . .				
20 Interest . . . . .				
21 Payments to affiliates . . . . .				
22 Depreciation, depletion, and amortization . . . . .	23,476	22,716	760	
23 Insurance . . . . .	7,093	3,688	284	3,121
24 Other expenses. Itemize expenses not covered above (List miscellaneous expenses on line 24e. If line 24e amount exceeds 10% of line 25, column (A), amount, list line 24e expenses on Schedule O.)				
a <u>Keepers Cottage supplies</u> . . . . .	18,143			18,143
b <u>Membership relations</u> . . . . .	2,932	2,932		
c <u>Museum Fees</u> . . . . .	3,695			3,695
d <u>Education Program</u> . . . . .	33		33	
e All other expenses . . . . .	463		463	
25 <b>Total functional expenses.</b> Add lines 1 through 24e . .	70,982	32,312	11,194	27,476
26 <b>Joint costs.</b> Complete this line only if the organization reported in column (B) joint costs from a combined educational campaign and fundraising solicitation. Check here <input type="checkbox"/> if following SOP 98-2 (ASC 958-720) . . . . .				

**Part X Balance Sheet**Check if Schedule O contains a response or note to any line in this Part X ☐

		(A) Beginning of year		(B) End of year
<b>Assets</b>	1 Cash - non-interest-bearing	246,073	1	279,615
	2 Savings and temporary cash investments		2	
	3 Pledges and grants receivable, net		3	
	4 Accounts receivable, net		4	
	5 Loans and other receivables from any current or former officer, director, trustee, key employee, creator or founder, substantial contributor, or 35% controlled entity or family member of any of these persons		5	
	6 Loans and other receivables from other disqualified persons (as defined under section 4958(f)(1)), and persons described in section 4958(c)(3)(B)		6	
	7 Notes and loans receivable, net		7	
	8 Inventories for sale or use	19,663	8	19,624
	9 Prepaid expenses and deferred charges		9	
	10a Land, buildings, and equipment: cost or other basis. Complete Part VI of Schedule D	10a 879,500		
	b Less: accumulated depreciation	10b 79,705	800,421	10c 799,795
	11 Investments - publicly traded securities		11	
	12 Investments - other securities. See Part IV, line 11		12	
	13 Investments - program-related. See Part IV, line 11		13	
	14 Intangible assets		14	
	15 Other assets. See Part IV, line 11	250	15	250
16 <b>Total assets.</b> Add lines 1 through 15 (must equal line 33)	1,066,407	16	1,099,284	
<b>Liabilities</b>	17 Accounts payable and accrued expenses		17	
	18 Grants payable		18	
	19 Deferred revenue		19	
	20 Tax-exempt bond liabilities		20	
	21 Escrow or custodial account liability. Complete Part IV of Schedule D		21	
	22 Loans and other payables to any current or former officer, director, trustee, key employee, creator or founder, substantial contributor, or 35% controlled entity or family member of any of these persons		22	
	23 Secured mortgages and notes payable to unrelated third parties		23	
	24 Unsecured notes and loans payable to unrelated third parties	(689)	24	1,395
25 Other liabilities (including federal income tax, payables to related third parties, and other liabilities not included on lines 17-24). Complete Part X of Schedule D		25		
26 <b>Total liabilities.</b> Add lines 17 through 25	(689)	26	1,395	
<b>Net Assets or Fund Balances</b>	Organizations that follow FASB ASC 958, check here <input checked="" type="checkbox"/> and complete lines 27, 28, 32, and 33.			
	27 Net assets without donor restrictions	1,067,096	27	1,097,889
	28 Net assets with donor restrictions		28	
	Organizations that do not follow FASB ASC 958, check here <input type="checkbox"/> and complete lines 29 through 33.			
	29 Capital stock or trust principal, or current funds		29	
	30 Paid-in or capital surplus, or land, building, or equipment fund		30	
	31 Retained earnings, endowment, accumulated income, or other funds		31	
	32 <b>Total net assets or fund balances</b>	1,067,096	32	1,097,889
33 <b>Total liabilities and net assets/fund balances</b>	1,066,407	33	1,099,284	

**Part XI Reconciliation of Net Assets**Check if Schedule O contains a response or note to any line in this Part XI ☐

1	Total revenue (must equal Part VIII, column (A), line 12)	1	101,775
2	Total expenses (must equal Part IX, column (A), line 25)	2	70,982
3	Revenue less expenses. Subtract line 2 from line 1	3	30,793
4	Net assets or fund balances at beginning of year (must equal Part X, line 32, column (A))	4	1,067,096
5	Net unrealized gains (losses) on investments	5	
6	Donated services and use of facilities	6	
7	Investment expenses	7	
8	Prior period adjustments	8	
9	Other changes in net assets or fund balances (explain on Schedule O)	9	0
10	Net assets or fund balances at end of year. Combine lines 3 through 9 (must equal Part X, line 32, column (B))	10	1,097,889

**Part XII Financial Statements and Reporting**Check if Schedule O contains a response or note to any line in this Part XII ☐

	Yes	No
1 Accounting method used to prepare the Form 990: <input checked="" type="checkbox"/> Cash <input type="checkbox"/> Accrual <input type="checkbox"/> Other _____ If the organization changed its method of accounting from a prior year or checked "Other," explain on Schedule O.		
2a Were the organization's financial statements compiled or reviewed by an independent accountant? . . . . . If "Yes," check a box below to indicate whether the financial statements for the year were compiled or reviewed on a separate basis, consolidated basis, or both: <input type="checkbox"/> Separate basis <input type="checkbox"/> Consolidated basis <input type="checkbox"/> Both consolidated and separate basis	2a	x
b Were the organization's financial statements audited by an independent accountant? . . . . . If "Yes," check a box below to indicate whether the financial statements for the year were audited on a separate basis, consolidated basis, or both: <input type="checkbox"/> Separate basis <input type="checkbox"/> Consolidated basis <input type="checkbox"/> Both consolidated and separate basis	2b	x
c If "Yes" to line 2a or 2b, does the organization have a committee that assumes responsibility for oversight of the audit, review, or compilation of its financial statements and selection of an independent accountant? . . . . . If the organization changed either its oversight process or selection process during the tax year, explain on Schedule O.	2c	
3a As a result of a federal award, was the organization required to undergo an audit or audits as set forth in the Uniform Guidance, 2 C.F.R. Part 200, Subpart F? . . . . .	3a	x
b If "Yes," did the organization undergo the required audit or audits? If the organization did not undergo the required audit or audits, explain why on Schedule O and describe any steps taken to undergo such audits . . . . .	3b	

EEA

Form 990 (2022)

**SCHEDULE A**  
**(Form 990)**

Department of the Treasury  
Internal Revenue Service

**Public Charity Status and Public Support**

Complete if the organization is a section 501(c)(3) organization or a section 4947(a)(1) nonexempt charitable trust.

Attach to Form 990 or Form 990-EZ.

Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for instructions and the latest information.

OMB No. 1545-0047

**2022**

**Open to Public  
Inspection**

Name of the organization

Employer identification number

**Cape Canaveral Lighthouse Foundation Inc**

**01-0655841**

**Part I Reason for Public Charity Status.** (All organizations must complete this part.) See instructions.

The organization is not a private foundation because it is: (For lines 1 through 12, check only one box.)

- 1 ☐ A church, convention of churches, or association of churches described in section 170(b)(1)(A)(i).
- 2 ☐ A school described in section 170(b)(1)(A)(ii). (Attach Schedule E (Form 990).)
- 3 ☐ A hospital or a cooperative hospital service organization described in section 170(b)(1)(A)(iii).
- 4 ☐ A medical research organization operated in conjunction with a hospital described in section 170(b)(1)(A)(iii). Enter the hospital's name, city, and state: \_\_\_\_\_
- 5 ☐ An organization operated for the benefit of a college or university owned or operated by a governmental unit described in section 170(b)(1)(A)(iv). (Complete Part II.)
- 6 ☐ A federal, state, or local government or governmental unit described in section 170(b)(1)(A)(v).
- 7 ☒ An organization that normally receives a substantial part of its support from a governmental unit or from the general public described in section 170(b)(1)(A)(vi). (Complete Part II.)
- 8 ☐ A community trust described in section 170(b)(1)(A)(vi). (Complete Part II.)
- 9 ☐ An agricultural research organization described in section 170(b)(1)(A)(ix) operated in conjunction with a land-grant college or university or a non-land-grant college of agriculture (see instructions). Enter the name, city, and state of the college or university: \_\_\_\_\_
- 10 ☐ An organization that normally receives: (1) more than 33 1/3% of its support from contributions, membership fees, and gross receipts from activities related to its exempt functions, subject to certain exceptions; and (2) no more than 33 1/3% of its support from gross investment income and unrelated business taxable income (less section 511 tax) from businesses acquired by the organization after June 30, 1975. See section 509(a)(2). (Complete Part III.)
- 11 ☐ An organization organized and operated exclusively to test for public safety. See section 509(a)(4).
- 12 ☐ An organization organized and operated exclusively for the benefit of, to perform the functions of, or to carry out the purposes of one or more publicly supported organizations described in section 509(a)(1) or section 509(a)(2). See section 509(a)(3). Check the box on lines 12a through 12d that describes the type of supporting organization and complete lines 12e, 12f, and 12g.
  - a ☐ **Type I.** A supporting organization operated, supervised, or controlled by its supported organization(s), typically by giving the supported organization(s) the power to regularly appoint or elect a majority of the directors or trustees of the supporting organization. You must complete Part IV, Sections A and B.
  - b ☐ **Type II.** A supporting organization supervised or controlled in connection with its supported organization(s), by having control or management of the supporting organization vested in the same persons that control or manage the supported organization(s). You must complete Part IV, Sections A and C.
  - c ☐ **Type III functionally integrated.** A supporting organization operated in connection with, and functionally integrated with, its supported organization(s) (see instructions). You must complete Part IV, Sections A, D, and E.
  - d ☐ **Type III non-functionally integrated.** A supporting organization operated in connection with its supported organization(s) that is not functionally integrated. The organization generally must satisfy a distribution requirement and an attentiveness requirement (see instructions). You must complete Part IV, Sections A and D, and Part V.
  - e ☐ Check this box if the organization received a written determination from the IRS that it is a Type I, Type II, Type III functionally integrated, or Type III non-functionally integrated supporting organization.
- f Enter the number of supported organizations: \_\_\_\_\_
- g Provide the following information about the supported organization(s).

(i) Name of supported organization	(ii) EIN	(iii) Type of organization (described on lines 1-10 above (see instructions))	(iv) Is the organization listed in your governing document?		(v) Amount of monetary support (see instructions)	(vi) Amount of other support (see instructions)
			Yes	No		
(A)						
(B)						
(C)						
(D)						
(E)						
<b>Total</b>						



**Part II Support Schedule for Organizations Described in Sections 170(b)(1)(A)(iv) and 170(b)(1)(A)(vi)**

(Complete only if you checked the box on line 5, 7, or 8 of Part I or if the organization failed to qualify under Part III. If the organization fails to qualify under the tests listed below, please complete Part III.)

**Section A. Public Support**

Calendar year (or fiscal year beginning in)	(a) 2018	(b) 2019	(c) 2020	(d) 2021	(e) 2022	(f) Total
1 Gifts, grants, contributions, and membership fees received. (Do not include any "unusual grants.") . . . . .	164,905	87,361	70,805	61,607	71,872	456,550
2 Tax revenues levied for the organization's benefit and either paid to or expended on its behalf . . . . .						
3 The value of services or facilities furnished by a governmental unit to the organization without charge . . . . .						
4 <b>Total.</b> Add lines 1 through 3 . . . . .	164,905	87,361	70,805	61,607	71,872	456,550
5 The portion of total contributions by each person (other than a governmental unit or publicly supported organization) included on line 1 that exceeds 2% of the amount shown on line 11, column (f) . . . . .						25,383
6 <b>Public support.</b> Subtract line 5 from line 4 . . . . .						431,167

**Section B. Total Support**

Calendar year (or fiscal year beginning in)	(a) 2018	(b) 2019	(c) 2020	(d) 2021	(e) 2022	(f) Total
7 Amounts from line 4 . . . . .	164,905	87,361	70,805	61,607	71,872	456,550
8 Gross income from interest, dividends, payments received on securities loans, rents, royalties, and income from similar sources . . . . .						
9 Net income from unrelated business activities, whether or not the business is regularly carried on . . . . .						
10 Other income. Do not include gain or loss from the sale of capital assets (Explain in Part VI.) . . . . .						
11 <b>Total support.</b> Add lines 7 through 10 . . . . .						456,550
12 Gross receipts from related activities, etc. (see instructions) . . . . .					12	265,148
13 <b>First 5 years.</b> If the Form 990 is for the organization's first, second, third, fourth, or fifth tax year as a section 501(c)(3) organization, check this box and stop here. . . . . <input type="checkbox"/>						

**Section C. Computation of Public Support Percentage**

14 Public support percentage for 2022 (line 8, column (f), divided by line 11, column (f)) . . . . .	14	94.44 %
15 Public support percentage from 2021 Schedule A, Part II, line 14 . . . . .	15	92.92 %
16a <b>33 1/3% support test - 2022.</b> If the organization did not check the box on line 13, and line 14 is 33 1/3% or more, check this box and stop here. The organization qualifies as a publicly supported organization . . . . . <input checked="" type="checkbox"/>		
b <b>33 1/3% support test - 2021.</b> If the organization did not check a box on line 13 or 16a, and line 15 is 33 1/3% or more, check this box and stop here. The organization qualifies as a publicly supported organization . . . . . <input type="checkbox"/>		
17a <b>10%-facts-and-circumstances test - 2022.</b> If the organization did not check a box on line 13, 16a, or 16b, and line 14 is 10% or more, and if the organization meets the facts-and-circumstances test, check this box and stop here. Explain in Part VI how the organization meets the facts-and-circumstances test. The organization qualifies as a publicly supported organization . . . . . <input type="checkbox"/>		
b <b>10%-facts-and-circumstances test - 2021.</b> If the organization did not check a box on line 13, 16a, 16b, or 17a, and line 15 is 10% or more, and if the organization meets the facts-and-circumstances test, check this box and stop here. Explain in Part VI how the organization meets the facts-and-circumstances test. The organization qualifies as a publicly supported organization . . . . . <input type="checkbox"/>		
18 <b>Private foundation.</b> If the organization did not check a box on line 13, 16a, 16b, 17a, or 17b, check this box and see instructions . . . . . <input type="checkbox"/>		

**Part III Support Schedule for Organizations Described in Section 509(a)(2)**

(Complete only if you checked the box on line 10 of Part I or if the organization failed to qualify under Part II.  
If the organization fails to qualify under the tests listed below, please complete Part II.)

**Section A. Public Support**

Calendar year (or fiscal year beginning in)	(a) 2018	(b) 2019	(c) 2020	(d) 2021	(e) 2022	(f) Total
<b>1</b> Gifts, grants, contributions, and membership fees received. (Do not include any "unusual grants.")						
<b>2</b> Gross receipts from admissions, merchandise sold or services performed, or facilities furnished in any activity that is related to the organization's tax-exempt purpose . . . . .						
<b>3</b> Gross receipts from activities that are not an unrelated trade or business under section 513						
<b>4</b> Tax revenues levied for the organization's benefit and either paid to or expended on its behalf . . . . .						
<b>5</b> The value of services or facilities furnished by a governmental unit to the organization without charge . . . . .						
<b>6</b> <b>Total.</b> Add lines 1 through 5 . . . . .						
<b>7a</b> Amounts included on lines 1, 2, and 3 received from disqualified persons . . . . .						
<b>b</b> Amounts included on lines 2 and 3 received from other than disqualified persons that exceed the greater of \$5,000 or 1% of the amount on line 13 for the year . . . . .						
<b>c</b> Add lines 7a and 7b . . . . .						
<b>8</b> <b>Public support.</b> (Subtract line 7c from line 6.) . . . . .						

**Section B. Total Support**

Calendar year (or fiscal year beginning in)	(a) 2018	(b) 2019	(c) 2020	(d) 2021	(e) 2022	(f) Total
<b>9</b> Amounts from line 6 . . . . .						
<b>10a</b> Gross income from interest, dividends, payments received on securities loans, rents, royalties, and income from similar sources . . . . .						
<b>b</b> Unrelated business taxable income (less section 511 taxes) from businesses acquired after June 30, 1975 . . . . .						
<b>c</b> Add lines 10a and 10b . . . . .						
<b>11</b> Net income from unrelated business activities not included on line 10b, whether or not the business is regularly carried on . . . . .						
<b>12</b> Other income. Do not include gain or loss from the sale of capital assets (Explain in Part VI.) . . . . .						
<b>13</b> <b>Total support.</b> (Add lines 9, 10c, 11, and 12.) . . . . .						
<b>14</b> <b>First 5 years.</b> If the Form 990 is for the organization's first, second, third, fourth, or fifth tax year as a section 501(c)(3) organization, check this box and <b>stop here</b> . . . . . <input type="checkbox"/>						

**Section C. Computation of Public Support Percentage**

<b>15</b> Public support percentage for 2022 (line 8, column (f), divided by line 13, column (f)) . . . . .	<b>15</b>	%
<b>16</b> Public support percentage from 2021 Schedule A, Part III, line 15 . . . . .	<b>16</b>	%

**Section D. Computation of Investment Income Percentage**

<b>17</b> Investment income percentage for 2022 (line 10c, column (f), divided by line 13, column (f)) . . . . .	<b>17</b>	%
<b>18</b> Investment income percentage from 2021 Schedule A, Part III, line 17 . . . . .	<b>18</b>	%

<b>19a</b> <b>33 1/3% support tests - 2022.</b> If the organization did not check the box on line 14, and line 15 is more than 33 1/3%, and line 17 is not more than 33 1/3%, check this box and <b>stop here.</b> The organization qualifies as a publicly supported organization <input type="checkbox"/>		
<b>b</b> <b>33 1/3% support tests - 2021.</b> If the organization did not check a box on line 14 or line 19a, and line 16 is more than 33 1/3%, and line 18 is not more than 33 1/3%, check this box and <b>stop here.</b> The organization qualifies as a publicly supported organization <input type="checkbox"/>		
<b>20</b> <b>Private foundation.</b> If the organization did not check a box on line 14, 19a, or 19b, check this box and see instructions <input type="checkbox"/>		

**Part IV Supporting Organizations**

(Complete only if you checked a box on line 12 of Part I. If you checked box 12a, Part I, complete Sections A and B. If you checked box 12b, Part I, complete Sections A and C. If you checked box 12c, Part I, complete Sections A, D, and E. If you checked box 12d, Part I, complete Sections A and D, and complete Part V.)

**Section A. All Supporting Organizations**

	Yes	No
<b>1</b> Are all of the organization's supported organizations listed by name in the organization's governing documents? If "No," describe in <b>Part VI</b> how the supported organizations are designated. If designated by class or purpose, describe the designation. If historic and continuing relationship, explain.		
<b>2</b> Did the organization have any supported organization that does not have an IRS determination of status under section 509(a)(1) or (2)? If "Yes," explain in <b>Part VI</b> how the organization determined that the supported organization was described in section 509(a)(1) or (2).		
<b>3a</b> Did the organization have a supported organization described in section 501(c)(4), (5), or (6)? If "Yes," answer lines 3b and 3c below.		
<b>b</b> Did the organization confirm that each supported organization qualified under section 501(c)(4), (5), or (6) and satisfied the public support tests under section 509(a)(2)? If "Yes," describe in <b>Part VI</b> when and how the organization made the determination.		
<b>c</b> Did the organization ensure that all support to such organizations was used exclusively for section 170(c)(2)(B) purposes? If "Yes," explain in <b>Part VI</b> what controls the organization put in place to ensure such use.		
<b>4a</b> Was any supported organization not organized in the United States ("foreign supported organization")? If "Yes," and if you checked 12a or 12b in Part I, answer lines 4b and 4c below.		
<b>b</b> Did the organization have ultimate control and discretion in deciding whether to make grants to the foreign supported organization? If "Yes," describe in <b>Part VI</b> how the organization had such control and discretion despite being controlled or supervised by or in connection with its supported organizations.		
<b>c</b> Did the organization support any foreign supported organization that does not have an IRS determination under sections 501(c)(3) and 509(a)(1) or (2)? If "Yes," explain in <b>Part VI</b> what controls the organization used to ensure that all support to the foreign supported organization was used exclusively for section 170(c)(2)(B) purposes.		
<b>5a</b> Did the organization add, substitute, or remove any supported organizations during the tax year? If "Yes," answer lines 5b and 5c below (if applicable). Also, provide detail in <b>Part VI</b> , including (i) the names and EIN numbers of the supported organizations added, substituted, or removed; (ii) the reasons for each such action; (iii) the authority under the organization's organizing document authorizing such action; and (iv) how the action was accomplished (such as by amendment to the organizing document).		
<b>b</b> <b>Type I or Type II only.</b> Was any added or substituted supported organization part of a class already designated in the organization's organizing document?		
<b>c</b> <b>Substitutions only.</b> Was the substitution the result of an event beyond the organization's control?		
<b>6</b> Did the organization provide support (whether in the form of grants or the provision of services or facilities) to anyone other than (i) its supported organizations, (ii) individuals that are part of the charitable class benefited by one or more of its supported organizations, or (iii) other supporting organizations that also support or benefit one or more of the filing organization's supported organizations? If "Yes," provide detail in <b>Part VI</b> .		
<b>7</b> Did the organization provide a grant, loan, compensation, or other similar payment to a substantial contributor (as defined in section 4958(c)(3)(C)), a family member of a substantial contributor, or a 35% controlled entity with regard to a substantial contributor? If "Yes," complete Part I of Schedule L (Form 990).		
<b>8</b> Did the organization make a loan to a disqualified person (as defined in section 4958) not described on line 7? If "Yes," complete Part I of Schedule L (Form 990).		
<b>9a</b> Was the organization controlled directly or indirectly at any time during the tax year by one or more disqualified persons, as defined in section 4946 (other than foundation managers and organizations described in section 509(a)(1) or (2))? If "Yes," provide detail in <b>Part VI</b> .		
<b>b</b> Did one or more disqualified persons (as defined on line 9a) hold a controlling interest in any entity in which the supporting organization had an interest? If "Yes," provide detail in <b>Part VI</b> .		
<b>c</b> Did a disqualified person (as defined on line 9a) have an ownership interest in, or derive any personal benefit from, assets in which the supporting organization also had an interest? If "Yes," provide detail in <b>Part VI</b> .		
<b>10a</b> Was the organization subject to the excess business holdings rules of section 4943 because of section 4943(f) (regarding certain Type II supporting organizations, and all Type III non-functionally integrated supporting organizations)? If "Yes," answer 10b below.		
<b>b</b> Did the organization have any excess business holdings in the tax year? (Use Schedule C, Form 4720, to determine whether the organization had excess business holdings.)		

**Part IV Supporting Organizations (continued)**

	Yes	No
<b>11</b> Has the organization accepted a gift or contribution from any of the following persons?		
<b>a</b> A person who directly or indirectly controls, either alone or together with persons described on lines 11b and 11c below, the governing body of a supported organization?	<b>11a</b>	
<b>b</b> A family member of a person described on line 11a above?	<b>11b</b>	
<b>c</b> A 35% controlled entity of a person described on 11a or 11b above? If "Yes" to line 11a, 11b, or 11c, provide detail in <b>Part VI</b> .	<b>11c</b>	

**Section B. Type I Supporting Organizations**

	Yes	No
<b>1</b> Did the governing body, members of the governing body, officers acting in their official capacity, or membership of one or more supported organizations have the power to regularly appoint or elect at least a majority of the organization's officers, directors, or trustees at all times during the tax year? If "No," describe in <b>Part VI</b> how the supported organization(s) effectively operated, supervised, or controlled the organization's activities. If the organization had more than one supported organization, describe how the powers to appoint and/or remove officers, directors, or trustees were allocated among the supported organizations and what conditions or restrictions, if any, applied to such powers during the tax year.	<b>1</b>	
<b>2</b> Did the organization operate for the benefit of any supported organization other than the supported organization(s) that operated, supervised, or controlled the supporting organization? If "Yes," explain in <b>Part VI</b> how providing such benefit carried out the purposes of the supported organization(s) that operated, supervised, or controlled the supporting organization.	<b>2</b>	

**Section C. Type II Supporting Organizations**

	Yes	No
<b>1</b> Were a majority of the organization's directors or trustees during the tax year also a majority of the directors or trustees of each of the organization's supported organization(s)? If "No," describe in <b>Part VI</b> how control or management of the supporting organization was vested in the same persons that controlled or managed the supported organization(s).	<b>1</b>	

**Section D. All Type III Supporting Organizations**

	Yes	No
<b>1</b> Did the organization provide to each of its supported organizations, by the last day of the fifth month of the organization's tax year, (i) a written notice describing the type and amount of support provided during the prior tax year, (ii) a copy of the Form 990 that was most recently filed as of the date of notification, and (iii) copies of the organization's governing documents in effect on the date of notification, to the extent not previously provided?	<b>1</b>	
<b>2</b> Were any of the organization's officers, directors, or trustees either (i) appointed or elected by the supported organization(s) or (ii) serving on the governing body of a supported organization? If "No," explain in <b>Part VI</b> how the organization maintained a close and continuous working relationship with the supported organization(s).	<b>2</b>	
<b>3</b> By reason of the relationship described in line 2, above, did the organization's supported organizations have a significant voice in the organization's investment policies and in directing the use of the organization's income or assets at all times during the tax year? If "Yes," describe in <b>Part VI</b> the role the organization's supported organizations played in this regard.	<b>3</b>	

**Section E. Type III Functionally Integrated Supporting Organizations**

- 1** Check the box next to the method that the organization used to satisfy the Integral Part Test during the year (see instructions).
- a** ☐ The organization satisfied the Activities Test. Complete line 2 below.
- b** ☐ The organization is the parent of each of its supported organizations. Complete line 3 below.
- c** ☐ The organization supported a governmental entity. Describe in **Part VI** how you supported a government entity (see instructions).

**2 Activities Test. Answer lines 2a and 2b below.**

	Yes	No
<b>a</b> Did substantially all of the organization's activities during the tax year directly further the exempt purposes of the supported organization(s) to which the organization was responsive? If "Yes," then in <b>Part VI</b> identify those supported organizations and explain how these activities directly furthered their exempt purposes, how the organization was responsive to those supported organizations, and how the organization determined that these activities constituted substantially all of its activities.	<b>2a</b>	
<b>b</b> Did the activities described on line 2a, above, constitute activities that, but for the organization's involvement, one or more of the organization's supported organization(s) would have been engaged in? If "Yes," explain in <b>Part VI</b> the reasons for the organization's position that its supported organization(s) would have engaged in these activities but for the organization's involvement.	<b>2b</b>	
<b>3 Parent of Supported Organizations. Answer lines 3a and 3b below.</b>		
<b>a</b> Did the organization have the power to regularly appoint or elect a majority of the officers, directors, or trustees of each of the supported organizations? If "Yes" or "No," provide details in <b>Part VI</b> .	<b>3a</b>	
<b>b</b> Did the organization exercise a substantial degree of direction over the policies, programs, and activities of each of its supported organizations? If "Yes," describe in <b>Part VI</b> the role played by the organization in this regard.	<b>3b</b>	

**Part V Type III Non-Functionally Integrated 509(a)(3) Supporting Organizations**

- 1 ☐ Check here if the organization satisfied the Integral Part Test as a qualifying trust on Nov. 20, 1970 (explain in **Part VI**). See instructions. All other Type III non-functionally integrated supporting organizations must complete Sections A through E.

Section A - Adjusted Net Income		(A) Prior Year	(B) Current Year (optional)
1	Net short-term capital gain	1	
2	Recoveries of prior-year distributions	2	
3	Other gross income (see instructions)	3	
4	Add lines 1 through 3.	4	
5	Depreciation and depletion	5	
6	Portion of operating expenses paid or incurred for production or collection of gross income or for management, conservation, or maintenance of property held for production of income (see instructions)	6	
7	Other expenses (see instructions)	7	
8	<b>Adjusted Net Income</b> (subtract lines 5, 6, and 7 from line 4)	8	

Section B - Minimum Asset Amount		(A) Prior Year	(B) Current Year (optional)
1	Aggregate fair market value of all non-exempt-use assets (see instructions for short tax year or assets held for part of year):		
a	Average monthly value of securities	1a	
b	Average monthly cash balances	1b	
c	Fair market value of other non-exempt-use assets	1c	
d	<b>Total</b> (add lines 1a, 1b, and 1c)	1d	
e	<b>Discount</b> claimed for blockage or other factors (explain in detail in <b>Part VI</b> ):		
2	Acquisition indebtedness applicable to non-exempt-use assets	2	
3	Subtract line 2 from line 1d.	3	
4	Cash deemed held for exempt use. Enter 0.015 of line 3 (for greater amount, see instructions).	4	
5	Net value of non-exempt-use assets (subtract line 4 from line 3)	5	
6	Multiply line 5 by 0.035.	6	
7	Recoveries of prior-year distributions	7	
8	<b>Minimum Asset Amount</b> (add line 7 to line 6)	8	

Section C - Distributable Amount			Current Year
1	Adjusted net income for prior year (from Section A, line 8, column A)	1	
2	Enter 0.85 of line 1.	2	
3	Minimum asset amount for prior year (from Section B, line 8, column A)	3	
4	Enter greater of line 2 or line 3.	4	
5	Income tax imposed in prior year	5	
6	<b>Distributable Amount.</b> Subtract line 5 from line 4, unless subject to emergency temporary reduction (see instructions).	6	
7	<input type="checkbox"/> Check here if the current year is the organization's first as a non-functionally integrated Type III supporting organization (see instructions).		



**Part V** Type III Non-Functionally Integrated 509(a)(3) Supporting Organizations (continued)

Section D - Distributions		Current Year
1	Amounts paid to supported organizations to accomplish exempt purposes	1
2	Amounts paid to perform activity that directly furthers exempt purposes of supported organizations, in excess of income from activity	2
3	Administrative expenses paid to accomplish exempt purposes of supported organizations	3
4	Amounts paid to acquire exempt-use assets	4
5	Qualified set-aside amounts (prior IRS approval required) - provide details in Part VI	5
6	Other distributions (describe in Part VI). See instructions.	6
7	<b>Total annual distributions.</b> Add lines 1 through 6.	7
8	Distributions to attentive supported organizations to which the organization is responsive (provide details in Part VI). See instructions.	8
9	Distributable amount for 2022 from Section C, line 6	9
10	Line 8 amount divided by line 9 amount	10

Section E - Distribution Allocations (see instructions)		(i) Excess Distributions	(ii) Underdistributions Pre-2022	(iii) Distributable Amount for 2022
1	Distributable amount for 2022 from Section C, line 6			
2	Underdistributions, if any, for years prior to 2022 (reasonable cause required - explain in Part VI). See instructions.			
3	Excess distributions carryover, if any, to 2022			
a	From 2017 . . . . .			
b	From 2018 . . . . .			
c	From 2019 . . . . .			
d	From 2020 . . . . .			
e	From 2021 . . . . .			
f	<b>Total</b> of lines 3a through 3e			
g	Applied to underdistributions of prior years			
h	Applied to 2022 distributable amount			
i	Carryover from 2017 not applied (see instructions)			
j	Remainder. Subtract lines 3g, 3h, and 3i from line 3f.			
4	Distributions for 2022 from Section D, line 7: \$			
a	Applied to underdistributions of prior years			
b	Applied to 2022 distributable amount			
c	Remainder. Subtract lines 4a and 4b from line 4.			
5	Remaining underdistributions for years prior to 2022, if any. Subtract lines 3g and 4a from line 2. For result greater than zero, explain in Part VI. See instructions.			
6	Remaining underdistributions for 2022. Subtract lines 3h and 4b from line 1. For result greater than zero, explain in Part VI. See instructions.			
7	<b>Excess distributions carryover to 2023.</b> Add lines 3j and 4c.			
8	<b>Breakdown of line 7:</b>			
a	Excess from 2018 . . . .			
b	Excess from 2019 . . . .			
c	Excess from 2020 . . . .			
d	Excess from 2021 . . . .			
e	Excess from 2022 . . . .			

**Part VI**

**Supplemental Information.** Provide the explanations required by Part II, line 10; Part II, line 17a or 17b; Part III, line 12; Part IV, Section A, lines 1, 2, 3b, 3c, 4b, 4c, 5a, 6, 9a, 9b, 9c, 11a, 11b, and 11c; Part IV, Section B, lines 1 and 2; Part IV, Section C, line 1; Part IV, Section D, lines 2 and 3; Part IV, Section E, lines 1c, 2a, 2b, 3a, and 3b; Part V, line 1; Part V, Section B, line 1e; Part V, Section D, lines 5, 6, and 8; and Part V, Section E, lines 2, 5, and 6. Also complete this part for any additional information. (See instructions.)

**Schedule B  
(Form 990)****Schedule of Contributors**

OMB No. 1545-0047

**2022**Department of the Treasury  
Internal Revenue ServiceAttach to Form 990 or Form 990-PF.  
Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for the latest information.

Name of the organization

**Cape Canaveral Lighthouse Foundation Inc**

Employer identification number

**01-0655841**

Organization type (check one):

Filers of:

Section:

Form 990 or 990-EZ

☒ 501(c)( 3 ) (enter number) organization☐ 4947(a)(1) nonexempt charitable trust not treated as a private foundation☐ 527 political organization

Form 990-PF

☐ 501(c)(3) exempt private foundation☐ 4947(a)(1) nonexempt charitable trust treated as a private foundation☐ 501(c)(3) taxable private foundationCheck if your organization is covered by the **General Rule** or a **Special Rule**.**Note:** Only a section 501(c)(7), (8), or (10) organization can check boxes for both the General Rule and a Special Rule. See instructions.**General Rule**

- ☒
- For an organization filing Form 990, 990-EZ, or 990-PF that received, during the year, contributions totaling \$5,000 or more (in money or property) from any one contributor. Complete Parts I and II. See instructions for determining a contributor's total contributions.

**Special Rules**

- ☐ For an organization described in section 501(c)(3) filing Form 990 or 990-EZ that met the 33 1/3% support test of the regulations under sections 509(a)(1) and 170(b)(1)(A)(vi), that checked Schedule A (Form 990), Part II, line 13, 16a, or 16b, and that received from any one contributor, during the year, total contributions of the greater of (1) \$5,000; or (2) 2% of the amount on (i) Form 990, Part VIII, line 1h; or (ii) Form 990-EZ, line 1. Complete Parts I and II.
- ☐ For an organization described in section 501(c)(7), (8), or (10) filing Form 990 or 990-EZ that received from any one contributor, during the year, total contributions of more than \$1,000 exclusively for religious, charitable, scientific, literary, or educational purposes, or for the prevention of cruelty to children or animals. Complete Parts I (entering "N/A" in column (b) instead of the contributor name and address), II, and III.
- ☐ For an organization described in section 501(c)(7), (8), or (10) filing Form 990 or 990-EZ that received from any one contributor, during the year, contributions exclusively for religious, charitable, etc., purposes, but no such contributions totaled more than \$1,000. If this box is checked, enter here the total contributions that were received during the year for an exclusively religious, charitable, etc., purpose. Don't complete any of the parts unless the **General Rule** applies to this organization because it received *nonexclusively* religious, charitable, etc., contributions totaling \$5,000 or more during the year: \* \* \* \* \* \$ \_\_\_\_\_

**Caution:** An organization that isn't covered by the General Rule and/or the Special Rules doesn't file Schedule B (Form 990), but it must answer "No" on Part IV, line 2, of its Form 990; or check the box on line H of its Form 990-EZ or on its Form 990-PF, Part I, line 2, to certify that it doesn't meet the filing requirements of Schedule B (Form 990).

For Paperwork Reduction Act Notice, see the Instructions for Form 990, 990-EZ, or 990-PF.

Schedule B (Form 990) (2022)

EEA


Name of organization

Cape Canaveral Lighthouse Foundation Inc

Employer identification number

01-0655841

**Part I** Contributors (see instructions). Use duplicate copies of Part I if additional space is needed.

(a) No.	(b) Name, address, and ZIP + 4	(c) Total contributions	(d) Type of contribution
1	Calvin Myer 	\$ 5,000	Person <input checked="" type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)
		\$	Person <input type="checkbox"/> Payroll <input type="checkbox"/> Noncash <input type="checkbox"/> (Complete Part II for noncash contributions.)

Department of the Treasury  
Internal Revenue Service

Name of the organization

**Supplemental Financial Statements**

Complete if the organization answered "Yes" on Form 990,  
Part IV, line 8, 7, 8, 9, 10, 11a, 11b, 11c, 11d, 11e, 11f, 12a, or 12b.

Attach to Form 990.

Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for instructions and the latest information.

OMB No. 1545-0047

**2022**

**Open to Public  
Inspection**

**Cape Canaveral Lighthouse Foundation Inc**

Employer identification number

**01-0655841**

**Part I Organizations Maintaining Donor Advised Funds or Other Similar Funds or Accounts.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 6.

	(a) Donor advised funds	(b) Funds and other accounts
1 Total number at end of year . . . . .		
2 Aggregate value of contributions to (during year) . . . . .		
3 Aggregate value of grants from (during year) . . . . .		
4 Aggregate value at end of year . . . . .		
5 Did the organization inform all donors and donor advisors in writing that the assets held in donor advised funds are the organization's property, subject to the organization's exclusive legal control? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No		
6 Did the organization inform all grantees, donors, and donor advisors in writing that grant funds can be used only for charitable purposes and not for the benefit of the donor or donor advisor, or for any other purpose conferring impermissible private benefit? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No		

**Part II Conservation Easements.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 7.

1 Purpose(s) of conservation easements held by the organization (check all that apply):

<input type="checkbox"/> Preservation of land for public use (for example, recreation or education)	<input type="checkbox"/> Preservation of a historically important land area
<input type="checkbox"/> Protection of natural habitat	<input type="checkbox"/> Preservation of a certified historic structure
<input type="checkbox"/> Preservation of open space	

2 Complete lines 2a through 2d if the organization held a qualified conservation contribution in the form of a conservation easement on the last day of the tax year:

	Held at the End of the Tax Year
a Total number of conservation easements . . . . .	<b>2a</b>
b Total acreage restricted by conservation easements . . . . .	<b>2b</b>
c Number of conservation easements on a certified historic structure included in (a) . . . . .	<b>2c</b>
d Number of conservation easements included in (c) acquired after July 25, 2006, and not on a historic structure listed in the National Register . . . . .	<b>2d</b>

3 Number of conservation easements modified, transferred, released, extinguished, or terminated by the organization during the tax year \_\_\_\_\_

4 Number of states where property subject to conservation easement is located \_\_\_\_\_

5 Does the organization have a written policy regarding the periodic monitoring, inspection, handling of violations, and enforcement of the conservation easements it holds? . . . . . ☐ Yes ☐ No

6 Staff and volunteer hours devoted to monitoring, inspecting, handling of violations, and enforcing conservation easements during the year \_\_\_\_\_

7 Amount of expenses incurred in monitoring, inspecting, handling of violations, and enforcing conservation easements during the year \_\_\_\_\_

8 Does each conservation easement reported on line 2(d) above satisfy the requirements of section 170(h)(4)(B)(i) and section 170(h)(4)(B)(ii)? . . . . . ☐ Yes ☐ No

9 In Part XIII, describe how the organization reports conservation easements in its revenue and expense statement and balance sheet, and include, if applicable, the text of the footnote to the organization's financial statements that describes the organization's accounting for conservation easements.

**Part III Organizations Maintaining Collections of Art, Historical Treasures, or Other Similar Assets.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 8.

1a If the organization elected, as permitted under FASB ASC 958, not to report in its revenue statement and balance sheet works of art, historical treasures, or other similar assets held for public exhibition, education, or research in furtherance of public service, provide in Part XIII the text of the footnote to its financial statements that describes these items.

b If the organization elected, as permitted under FASB ASC 958, to report in its revenue statement and balance sheet works of art, historical treasures, or other similar assets held for public exhibition, education, or research in furtherance of public service, provide the following amounts relating to these items:

(i) Revenue included on Form 990, Part VIII, line 1 . . . . .	\$ _____
(ii) Assets included in Form 990, Part X . . . . .	\$ _____

2 If the organization received or held works of art, historical treasures, or other similar assets for financial gain, provide the following amounts required to be reported under FASB ASC 958 relating to these items:

a Revenue included on Form 990, Part VIII, line 1 . . . . .	\$ _____
b Assets included in Form 990, Part X . . . . .	\$ _____

Part III

Organizations Maintaining Collections of Art, Historical Treasures, or Other Similar Assets (continued)

- 3
- Using the organization's acquisition, accession, and other records, check any of the following that make significant use of its collection items (check all that apply):
- a

☐

Public exhibition
- b

☐

Scholarly research
- c

☐

Preservation for future generations
- d

☐

Loan or exchange program
- e

☐

Other
- 4
- Provide a description of the organization's collections and explain how they further the organization's exempt purpose in Part XIII.
- 5
- During the year, did the organization solicit or receive donations of art, historical treasures, or other similar assets to be sold to raise funds rather than to be maintained as part of the organization's collection?
- Yes
- No

Part IV

Escrow and Custodial Arrangements.

Complete if the organization answered "Yes" on Form 990, Part IV, line 9, or reported an amount on Form 990, Part X, line 21.

- 1a
- Is the organization an agent, trustee, custodian or other intermediary for contributions or other assets not included on Form 990, Part X?
- Yes
- No
- b
- If "Yes," explain the arrangement in Part XIII and complete the following table:
- |    | Amount |
|----|--------|
| 1c |        |
| 1d |        |
| 1e |        |
| 1f |        |
- 2a
- Did the organization include an amount on Form 990, Part X, line 21, for escrow or custodial account liability?
- Yes
- No
- b
- If "Yes," explain the arrangement in Part XIII. Check here if the explanation has been provided on Part XIII

Part V

Endowment Funds.

Complete if the organization answered "Yes" on Form 990, Part IV, line 10.

- |    | (a) Current year                               | (b) Prior year | (c) Two years back | (d) Three years back | (e) Four years back |
|----|--|----------------|--------------------|----------------------|---------------------|
| 1a | Beginning of year balance                      |                |                    |                      |                     |
| b  | Contributions                                  |                |                    |                      |                     |
| c  | Net investment earnings, gains, and losses     |                |                    |                      |                     |
| d  | Grants or scholarships                         |                |                    |                      |                     |
| e  | Other expenditures for facilities and programs |                |                    |                      |                     |
| f  | Administrative expenses                        |                |                    |                      |                     |
| g  | End of year balance                            |                |                    |                      |                     |
- 2
- Provide the estimated percentage of the current year end balance (line 1g, column (a)) held as:
- a
- Board designated or quasi-endowment
- %
- b
- Permanent endowment
- %
- c
- Term endowment
- %
- The percentages on lines 2a, 2b, and 2c should equal 100%.
- 3a
- Are there endowment funds not in the possession of the organization that are held and administered for the organization by:
- (i) Unrelated organizations
- (ii) Related organizations
- Yes
- No
- 3a(i)
- 3a(ii)
- 3b
- b
- If "Yes" on line 3a(ii), are the related organizations listed as required on Schedule R?
- 4
- Describe in Part XIII the intended uses of the organization's endowment funds.

Part VI

Land, Buildings, and Equipment.

Complete if the organization answered "Yes" on Form 990, Part IV, line 11a. See Form 990, Part X, line 10.

Description of property	(a) Cost or other basis (investment)	(b) Cost or other basis (other)	(c) Accumulated depreciation	(d) Book value
1a Land				
b Buildings		846,100	75,027	771,073
c Leasehold improvements				
d Equipment		6,750	2,207	4,543
e Other		26,650	2,471	24,179
Total. Add lines 1a through 1e. (Column (d) must equal Form 990, Part X, column (B), line 10c.)				799,795



**Part VII****Investments - Other Securities.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 11b. See Form 990, Part X, line 12.

(a) Description of security or category (including name of security)	(b) Book value	(c) Method of valuation: Cost or end-of-year market value
(1) Financial derivatives		
(2) Closely-held equity interests		
(3) Other		
(A)		
(B)		
(C)		
(D)		
(E)		
(F)		
(G)		
(H)		
Total. (Column (b) must equal Form 990, Part X, col. (B) line 12.)		

**Part VIII****Investments - Program Related.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 11c. See Form 990, Part X, line 13.

(a) Description of investment	(b) Book value	(c) Method of valuation: Cost or end-of-year market value
(1)		
(2)		
(3)		
(4)		
(5)		
(6)		
(7)		
(8)		
(9)		
Total. (Column (b) must equal Form 990, Part X, col. (B) line 13.)		

**Part IX****Other Assets.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 11d. See Form 990, Part X, line 15.

(a) Description	(b) Book value
(1) Security deposit	250
(2)	
(3)	
(4)	
(5)	
(6)	
(7)	
(8)	
(9)	
Total. (Column (b) must equal Form 990, Part X, col. (B) line 15.)	250

**Part X****Other Liabilities.**

Complete if the organization answered "Yes" on Form 990, Part IV, line 11e or 11f. See Form 990, Part X, line 25.

1. (a) Description of liability	(b) Book value
(1) Federal income taxes	
(2)	
(3)	
(4)	
(5)	
(6)	
(7)	
(8)	
(9)	
Total. (Column (b) must equal Form 990, Part X, col. (B) line 25.)	

2. Liability for uncertain tax positions. In Part XIII, provide the text of the footnote to the organization's financial statements that reports the organization's liability for uncertain tax positions under FASB ASC 740. Check here if the text of the footnote has been provided in Part XIII ☐

Part XI	Reconciliation of Revenue per Audited Financial Statements With Revenue per Return.
---------	---

Complete if the organization answered "Yes" on Form 990, Part IV, line 12a.

<b>1</b>	Total revenue, gains, and other support per audited financial statements . . . . .		<b>1</b>	
<b>2</b>	Amounts included on line 1 but not on Form 990, Part VIII, line 12:			
<b>a</b>	Net unrealized gains (losses) on investments . . . . .	<b>2a</b>		
<b>b</b>	Donated services and use of facilities . . . . .	<b>2b</b>		
<b>c</b>	Recoveries of prior year grants . . . . .	<b>2c</b>		
<b>d</b>	Other (Describe in Part XIII.) . . . . .	<b>2d</b>		
<b>e</b>	Add lines 2a through 2d . . . . .		<b>2e</b>	
<b>3</b>	Subtract line 2e from line 1 . . . . .		<b>3</b>	
<b>4</b>	Amounts included on Form 990, Part VIII, line 12, but not on line 1:			
<b>a</b>	Investment expenses not included on Form 990, Part VIII, line 7b . . . . .	<b>4a</b>		
<b>b</b>	Other (Describe in Part XIII.) . . . . .	<b>4b</b>		
<b>c</b>	Add lines 4a and 4b . . . . .		<b>4c</b>	
<b>5</b>	Total revenue. Add lines 3 and 4c. (This must equal Form 990, Part I, line 12.) . . . . .		<b>5</b>	

<b>Part XII</b>	<b>Reconciliation of Expenses per Audited Financial Statements With Expenses per Return.</b>
-----------------	--

Complete if the organization answered "Yes" on Form 990, Part IV, line 12a

<b>1</b>	Total expenses and losses per audited financial statements		<b>1</b>
<b>2</b>	Amounts included on line 1 but not on Form 990, Part IX, line 25:		
<b>a</b>	Donated services and use of facilities	<b>2a</b>	
<b>b</b>	Prior year adjustments	<b>2b</b>	
<b>c</b>	Other losses	<b>2c</b>	
<b>d</b>	Other (Describe in Part XIII.)	<b>2d</b>	
<b>e</b>	Add lines 2a through 2d		<b>2e</b>
<b>3</b>	Subtract line 2e from line 1		<b>3</b>
<b>4</b>	Amounts included on Form 990, Part IX, line 25, but not on line 1:		
<b>a</b>	Investment expenses not included on Form 990, Part VIII, line 7b	<b>4a</b>	
<b>b</b>	Other (Describe in Part XIII.)	<b>4b</b>	
<b>c</b>	Add lines 4a and 4b		<b>4c</b>
<b>5</b>	Total expenses. Add lines 3 and 4c. (This must equal Form 990, Part I, line 18.)		<b>5</b>

## Part XIII Supplemental Information.

Provide the descriptions required for Part II, lines 3, 5, and 9; Part III, lines 1a and 4; Part IV, lines 1b and 2b; Part V, line 4; Part X, line 2; Part XI, lines 2d and 4b; and Part XII, lines 2d and 4b. Also complete this part to provide any additional information.

**SCHEDULE G  
(Form 990)**

Department of the Treasury  
Internal Revenue Service

Name of the organization

**Supplemental Information Regarding Fundraising or Gaming Activities**

Complete if the organization answered "Yes" on Form 990, Part IV, line 17, 18, or 19, or if the organization entered more than \$15,000 on Form 990-EZ, line 6a.

Attach to Form 990 or Form 990-EZ.

Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for instructions and the latest information.

OMB No. 1545-0047

**2022**

Open to Public  
Inspection

**Cape Canaveral Lighthouse Foundation Inc**

Employer identification number

**01-0655841**

**Part I Fundraising Activities.** Complete if the organization answered "Yes" on Form 990, Part IV, line 17.

Form 990-EZ filers are not required to complete this part.

**1** Indicate whether the organization raised funds through any of the following activities. Check all that apply.

- |  |   |
|--|---|
| <b>a</b> <input type="checkbox"/> Mail solicitations               | <b>e</b> <input type="checkbox"/> Solicitation of non-government grants |
| <b>b</b> <input type="checkbox"/> Internet and email solicitations | <b>f</b> <input type="checkbox"/> Solicitation of government grants     |
| <b>c</b> <input type="checkbox"/> Phone solicitations              | <b>g</b> <input type="checkbox"/> Special fundraising events            |
| <b>d</b> <input type="checkbox"/> In-person solicitations          |   |

**2a** Did the organization have a written or oral agreement with any individual (including officers, directors, trustees, or key employees listed in Form 990, Part VII) or entity in connection with professional fundraising services? ☐ Yes ☐ No

**b** If "Yes," list the 10 highest paid individuals or entities (fundraisers) pursuant to agreements under which the fundraiser is to be compensated at least \$5,000 by the organization.

(i) Name and address of individual or entity (fundraiser)	(ii) Activity	(iii) Did fundraiser have custody or control of contributions?		(iv) Gross receipts from activity	(v) Amount paid to (or retained by) fundraiser listed in col. (i)	(vi) Amount paid to (or retained by) organization
		Yes	No			
1						
2						
3						
4						
5						
6						
7						
8						
9						
10						
<b>Total</b>						

**3** List all states in which the organization is registered or licensed to solicit contributions or has been notified it is exempt from registration or licensing.

**Part II**

**Fundraising Events.** Complete if the organization answered "Yes" on Form 990, Part IV, line 18, or reported more than \$15,000 of fundraising event contributions and gross income on Form 990-EZ, lines 1 and 6b. List events with gross receipts greater than \$5,000.

		(a) Event #1 <u>Muscle Car</u> (event type)	(b) Event #2 <u>Marathon</u> (event type)	(c) Other events <u>None</u> (total number)	(d) Total events (add col. (a) through col. (c))
Revenue	1 Gross receipts . . . . .	36,355	13,942		50,297
	2 Less: Contributions . . . . .	20,080			20,080
	3 Gross income (line 1 minus line 2) . . . . .	16,275	13,942		30,217
Direct Expenses	4 Cash prizes . . . . .				
	5 Noncash prizes . . . . .	2,917			2,917
	6 Rent/facility costs . . . . .	3,600	8,419		12,019
	7 Food and beverages . . . . .	3,000			3,000
	8 Entertainment . . . . .				
	9 Other direct expenses . . . . .	121	2,131		2,252
	10 Direct expense summary. Add lines 4 through 9 in column (d) . . . . .				20,188
	11 Net income summary. Subtract line 10 from line 3, column (d) . . . . .				10,029

**Part III**

**Gaming.** Complete if the organization answered "Yes" on Form 990, Part IV, line 19, or reported more than \$15,000 on Form 990-EZ, line 6a.

		(a) Bingo	(b) Pull tabs/instant bingo/progressive bingo	(c) Other gaming	(d) Total gaming (add col. (a) through col. (c))
Revenue	1 Gross revenue . . . . .				
	2 Cash prizes . . . . .				
Direct Expenses	3 Noncash prizes . . . . .				
	4 Rent/facility costs . . . . .				
	5 Other direct expenses . . . . .				
	6 Volunteer labor . . . . .	<input type="checkbox"/> Yes _____ % <input type="checkbox"/> No	<input type="checkbox"/> Yes _____ % <input type="checkbox"/> No	<input type="checkbox"/> Yes _____ % <input type="checkbox"/> No	
	7 Direct expense summary. Add lines 2 through 5 in column (d) . . . . .				
	8 Net gaming income summary. Subtract line 7 from line 1, column (d) . . . . .				

9 Enter the state(s) in which the organization conducts gaming activities: \_\_\_\_\_

a Is the organization licensed to conduct gaming activities in each of these states? ☐ Yes ☐ No

b If "No," explain: \_\_\_\_\_

10a Were any of the organization's gaming licenses revoked, suspended, or terminated during the tax year? ☐ Yes ☐ No

b If "Yes," explain: \_\_\_\_\_

Complete to provide information for responses to specific questions on  
Form 990 or 990-EZ or to provide any additional information.

**2022**

Department of the Treasury  
Internal Revenue Service

Attach to Form 990 or Form 990-EZ  
Go to [www.irs.gov/Form990](http://www.irs.gov/Form990) for the latest information.

**Open to Public  
Inspection**

Name of this organization

Cape Canaveral Lighthouse Foundation Inc

Employer identification number

01-0655841

**01. Members or stockholder classes and rights (Part VI, line 6)**

The Foundation is governed solely by its Board of Directors. Members are non-voting and are not involved in the day to day activities of the Foundation. There are six (6) classes of membership based on the amount of the annual dues. Membership benefits consist primarily of access to the Cape Canaveral lighthouse and the Foundations' historical materials.

**02. Form 990 governing body review (Part VI, line 11)**

The Foundation's Treasurer and other key members of the governing body review Form 990 and approve the return prior to filing.

**03. Governing documents, etc., available to public (Part VI, line 19)**

The Foundation makes its documents available to the public upon request.

**04. Statement of Revenue (Part VIII)**

Revenue from the sale of inventory at the Keepers Cottage and Museum are reported through a nominee identification number on Form 1099-K. This income is 100% the Organizations and not the nominee.

**05. List of other fees for services expenses (Part IX, line 11g)**

Fees paid are for management and set-up services for the new museum and the new museum gift shop in the newly constructed Lighthouse Keepers Cottage. \$13,750

## (Including Information on Listed Property)

Attach to your tax return.

Go to [www.irs.gov/Form4562](http://www.irs.gov/Form4562) for instructions and the latest information.

2022

Attachment  
Sequence No. 179

Name(s) shown on return

Business or activity to which this form relates

Identifying number

Cape Canaveral Lighthouse Founda

FORM 990 - 1

01-0655841

**Part I Election To Expense Certain Property Under Section 179**

Note: If you have any listed property, complete Part V before you complete Part I.

1	Maximum amount (see instructions)	1	
2	Total cost of section 179 property placed in service (see instructions)	2	
3	Threshold cost of section 179 property before reduction in limitation (see instructions)	3	
4	Reduction in limitation. Subtract line 3 from line 2. If zero or less, enter -0-	4	
5	Dollar limitation for tax year. Subtract line 4 from line 1. If zero or less, enter -0-. If married filing separately, see instructions	5	
6	(a) Description of property	(b) Cost (business use only)	(c) Elected cost
7	Listed property. Enter the amount from line 29	7	
8	Total elected cost of section 179 property. Add amounts in column (c), lines 6 and 7	8	
9	Tentative deduction. Enter the smaller of line 5 or line 8	9	
10	Carryover of disallowed deduction from line 13 of your 2021 Form 4562	10	
11	Business income limitation. Enter the smaller of business income (not less than zero) or line 5. See instructions	11	
12	Section 179 expense deduction. Add lines 9 and 10, but don't enter more than line 11	12	
13	Carryover of disallowed deduction to 2023. Add lines 9 and 10, less line 12	13	

Note: Don't use Part II or Part III below for listed property. Instead, use Part V.

**Part II Special Depreciation Allowance and Other Depreciation (Don't include listed property. See instructions.)**

14	Special depreciation allowance for qualified property (other than listed property) placed in service during the tax year. See instructions	14	
15	Property subject to section 168(f)(1) election	15	
16	Other depreciation (including ACRS)	16	22,905

**Part III MACRS Depreciation (Don't include listed property. See instructions.)****Section A**

17	MACRS deductions for assets placed in service in tax years beginning before 2022	17	
18	If you are electing to group any assets placed in service during the tax year into one or more general asset accounts, check here <input type="checkbox"/>		

**Section B - Assets Placed in Service During 2022 Tax Year Using the General Depreciation System**

(a) Classification of property	(b) Month and year placed in service	(c) Basis for depreciation (business/investment use only-see instructions)	(d) Recovery period	(e) Convention	(f) Method	(g) Depreciation deduction
19a 3-year property						
b 5-year property		22,850	5	MO	SL	571
c 7-year property						
d 10-year property						
e 15-year property						
f 20-year property						
g 25-year property			25 yrs.		S/L	
h Residential rental property			27.5 yrs.	MM	S/L	
i Nonresidential real property			27.5 yrs.	MM	S/L	
			39 yrs.	MM	S/L	
				MM	S/L	

**Section C - Assets Placed in Service During 2022 Tax Year Using the Alternative Depreciation System**

20a Class life					S/L	
b 12-year			12 yrs.		S/L	
c 30-year			30 yrs.	MM	S/L	
d 40-year			40 yrs.	MM	S/L	

**Part IV Summary (See instructions.)**

21	Listed property. Enter amount from line 28	21	
22	Total. Add amounts from line 12, lines 14 through 17, lines 19 and 20 in column (g), and line 21. Enter here and on the appropriate lines of your return. Partnerships and S corporations - see instructions	22	23,476
23	For assets shown above and placed in service during the current year, enter the portion of the basis attributable to section 263A costs	23	

For Paperwork Reduction Act Notice, see separate instructions.

Form 4562 (2022)



# Elections

(This page is e-filed with the return. Include it if paper-filing.)

2022 PG01

Name(s) as shown on return

SSN/EIN

Cape Canaveral Lighthouse Foundation Inc

01-0655841

## Section 1.263(a)-3(h) Safe Harbor Election for Small Taxpayers

NAME: Cape Canaveral Lighthouse Foundation Inc

ADDRESS: PO Box 1978, Cape Canaveral, FL 32920

SSN/EIN: 01-0655841

ELECTION: The amounts paid for repairs, maintenance, improvements and similar activities performed on the eligible building(s) described below qualify under the safe harbor provided in Reg. Section 1.263(a)-3(h)(1).

DESCRIPTION: Cape Cottage Museum

**2024 FLORIDA NOT FOR PROFIT CORPORATION ANNUAL REPORT**

DOCUMENT# N02000001956

**Entity Name:** CAPE CANAVERAL LIGHTHOUSE FOUNDATION  
INCORPORATED**FILED**  
**Feb 02, 2024**  
**Secretary of State**  
**1258494867CC****Current Principal Place of Business:**CAPE CANAVERAL LIGHTHOUSE  
CAPE CANAVERAL AIR FORCE STATION  
BREVARD COUNTY, FL 32925-2206**Current Mailing Address:**PO BOX 1978  
CAPE CANAVERAL, FL 32920-1978**FEI Number:** 01-0655841**Certificate of Status Desired:** No**Name and Address of Current Registered Agent:**CAPE CANAVERAL LIGHTHOUSE FOUNDATION  
2420 SYKES CREEK DRIVE  
MERRITT ISLAND, FL 32953 US*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.***SIGNATURE:** BRENDAN MCMILLIN

02/02/2024

Electronic Signature of Registered Agent

Date

**Officer/Director Detail :**

Title	P
Name	ECKER, RONALD
Address	[REDACTED]
City-State-Zip:	[REDACTED]

Title	VP
Name	SMITH, SHANE
Address	[REDACTED]
City-State-Zip:	[REDACTED]

Title	TREASURER
Name	PASSARELLI, JAMES A
Address	[REDACTED]
City-State-Zip:	[REDACTED]

Title	SECRETARY
Name	DOOLEY, JILL
Address	[REDACTED]
City-State-Zip:	[REDACTED]

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 617, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.***SIGNATURE:** JAMES PASSARELLI

TREASURER

02/02/2024

Electronic Signature of Signing Officer/Director Detail

Date



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Not For Profit Corporation

CAPE CANAVERAL LIGHTHOUSE FOUNDATION INCORPORATED

### Filing Information

**Document Number** N02000001956  
**FEI/EIN Number** 01-0655841  
**Date Filed** 03/13/2002  
**State** FL  
**Status** ACTIVE  
**Last Event** AMENDMENT  
**Event Date Filed** 11/06/2002  
**Event Effective Date** NONE

### Principal Address

CAPE CANAVERAL LIGHTHOUSE  
CAPE CANAVERAL AIR FORCE STATION  
BREVARD COUNTY, FL 32925-2206

Changed: 03/24/2009

### Mailing Address

PO BOX 1978  
CAPE CANAVERAL, FL 32920-1978

Changed: 03/24/2009

### Registered Agent Name & Address

Cape Canaveral Lighthouse Foundation  
2420 Sykes Creek Drive  
Merritt Island, FL 32953

Name Changed: 01/27/2021

Address Changed: 11/02/2023

### Officer/Director Detail

#### **Name & Address**

Title P

Ecker, Ronald



Title Treasurer

Passarelli, James A



Title VP

Smith, Shane



Title Secretary

Dooley, Jill

**Annual Reports**

Report Year	Filed Date
2023	01/18/2023
2023	11/02/2023
2024	02/02/2024

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<a href="#">11/06/2002 -- Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">03/13/2002 -- Domestic Non-Profit</a>	<a href="#">View image in PDF format</a>

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## Consumer's Certificate of Exemption

Issued Pursuant to Chapter 212, Florida Statutes

DR-14  
R. 01/18

85-8012591628C-3	08/31/2022	08/31/2027	501(C)(3) ORGANIZATION
Certificate Number	Effective Date	Expiration Date	Exemption Category

This certifies that

CAPE CANAVERAL LIGHTHOUSE FOUNDATION INC  
1670 S FISKE BLVD  
ROCKLEDGE FL 32955-2535

is exempt from the payment of Florida sales and use tax on real property rented, transient rental property rented, tangible personal property purchased or rented, or services purchased.



## Important Information for Exempt Organizations

DR-14  
R. 01/18

1. You must provide all vendors and suppliers with an exemption certificate before making tax-exempt purchases. See Rule 12A-1.038, Florida Administrative Code (F.A.C.).
2. Your *Consumer's Certificate of Exemption* is to be used solely by your organization for your organization's customary nonprofit activities.
3. Purchases made by an individual on behalf of the organization are taxable, even if the individual will be reimbursed by the organization.
4. This exemption applies only to purchases your organization makes. The sale or lease to others of tangible personal property, sleeping accommodations, or other real property is taxable. Your organization must register, and collect and remit sales and use tax on such taxable transactions. Note: Churches are exempt from this requirement except when they are the lessor of real property (Rule 12A-1.070, F.A.C.).
5. It is a criminal offense to fraudulently present this certificate to evade the payment of sales tax. Under no circumstances should this certificate be used for the personal benefit of any individual. Violators will be liable for payment of the sales tax plus a penalty of 200% of the tax, and may be subject to conviction of a third-degree felony. Any violation will require the revocation of this certificate.
6. If you have questions about your exemption certificate, please call Taxpayer Services at 850-488-6800. The mailing address is PO Box 6480, Tallahassee, FL 32314-6480.





I certify the attached is a true and correct copy of the Articles of Incorporation of CAPE CANAVERAL LIGHTHOUSE FOUNDATION INCORPORATED, a Florida corporation, filed on March 13, 2002, as shown by the records of this office.

The document number of this corporation is N02000001956.

Given under my hand and the  
Great Seal of the State of Florida  
at Tallahassee, the Capitol, this the  
Nineteenth day of March, 2002



CR2EO22 (1-99)

*Katherine Harris*

Katherine Harris  
Secretary of State

## ARTICLES OF INCORPORATION

The undersigned, acting as incorporators of a Corporation pursuant to Chapter 617 Florida Statutes (Not for Profit), adopts the following Articles of Incorporation of such corporation.

SECRETARY OF STATE  
TALLAHASSEE, FLORIDA

02 MAR 13 AM 10:40

FILED

### ARTICLE I

#### NAME

The name of the Corporation shall be the **Cape Canaveral Lighthouse Foundation Incorporated.**

### ARTICLE II

#### PLACE OF BUSINESS

The principal place of business will be the **Cape Canaveral Lighthouse, Cape Canaveral Air Force Station, Brevard County, Florida. The mailing address is Post Office Box 372012, Satellite Beach, Florida 32937.**

### ARTICLE III

#### PURPOSE

Acknowledging the singular significance of the Cape Canaveral Lighthouse among all American lighthouses, in that it is the only fully operational lighthouse owned by the United States Air Force, the purpose of organizing the Cape Canaveral Lighthouse Foundation, Inc. is to assist the 45<sup>th</sup> Space Wing in preserving, protecting, and interpreting the Cape Canaveral Lighthouse and its historical significance to the Florida Space Coast, State of Florida and our Nation. In furtherance thereof, the Foundation will generate, receive, hold and administer, all monetary and in kind donations to said Foundation.

### ARTICLE IV

#### BOARD OF DIRECTORS

The initial Board of Directors will consist of the Incorporators of the Corporation and the manner of appointment of additional directors will be stated in the Bylaws.

### ARTICLE V

The number constituting the initial Board of Directors of the Corporation is three. Their names and addresses are:

#### Incorporators:

Randall K. Horn  
Christy A. Lehnertz  
G. Kay Witt, Esq.



### ARTICLE VI

The Corporation designates the following individual to act as the Registered Agent, in the State of Florida.

**Elbert E. "Sonny" Witt, PhD  
CCAFS/CD**

**180 W. Skid Strip Road  
Patrick AFB, Florida 32925-2330**

### Signature of Registered Agent

Having been named as registered agent to accept service of process for the above stated Corporation at the place designated in this certificate, I am familiar with and accept the appointment as registered agent and agree to act in this capacity.

*Elbert E. "Sonny" Witt*

Elbert E. "Sonny" Witt, PhD

### Signatures of Incorporators

*Christy A. Lehnertz*

Christy A. Lehnertz

date

*G. Kay Witt Esq.*

G. Kay Witt, Esq.

02 MAR 13 AM 10:40  
FILED  
SECRETARY OF STATE  
TALLAHASSEE, FLORIDA

### State of Florida, County of Brevard

The forgoing instrument was acknowledged and sworn to before me this 15 day of February, 2002, by Christy A. Lehnertz and of the Cape Canaveral Lighthouse Foundation, Inc.

*G. Kay Witt Esq.*



*Cindy Williams*  
Notary Public  
My commission expires

*Randall K. Horn*

Randall K. Horn

*21 Feb 2002*  
date

### State of Alabama, County of Lauderdale

The forgoing instrument was acknowledged and sworn to before me this 21 day of February, 2002, by Randall K. Horn of the Cape Canaveral Lighthouse Foundation, Inc.

*Regina B. Sherrill*

Seal

Notary Public  
My commission expires

MY COMMISSION EXPIRES 12/31/02



**Cape Canaveral Lighthouse Foundation, Inc**  
**P.O. Box 1978**  
**Cape Canaveral, Florida 32920**  
**321-351-5052**

**Officers**

21 September 2023

Ronald L. Ecker  
President

Colonel Anthony Graham  
Vice Commander, Support  
Space Launch Delta 45  
1201 Edward H. White II Street, Bldg 423  
Patrick SFB, FL 32925

Shane Smith  
1<sup>st</sup> Vice President

Todd McDowell  
2<sup>nd</sup> Vice President

Brendan McMillin  
Treasurer

Jill Dooley  
Secretary

**Directors**

Sharon Crockett  
Christine Ecker  
George Eustis  
Nancy Garwood  
Rocky Johnson  
Patricia Lautner  
Jeanna Merrifield  
R. Norman Moody  
Mary Anne Moore  
James Passarelli  
Larry Ostarly  
Michele Rohrmann  
Dixie Sansom  
RADM James Underwood  
Maj Gen B. Edwin Wilson  
Lisa Wilson

Dear Colonel Graham:

Thank you again for meeting with our Cape Canaveral Lighthouse Foundation (CCLF) leadership on 6 September 2023 to discuss the foundation's mission and activities. We appreciate your willingness to review the history and current status of our long-standing partnership with Space Launch Delta 45, to include the continuation of the CCLF Use License Agreement No. USAF-AFSPC-DBEH-15-2-0261, executed on 2 July 2015.

Per your request, the CCLF hereby requests your concurrence that the referenced CCLF Use License Agreement is formally extended in perpetuity, or until such revised Term of Expiration as the SLD 45 sees fit. Towards this end, we will work with your Civil Engineering lead(s) to document the fact that the referenced agreement is (and will be) continued despite the "Term Expiration Date" of 31 March 2020 noted in the agreement. As we highlighted, the CCLF is in the process of submitting grant applications in order to complete our ongoing historical replication and restoration project(s) on the Cape Canaveral Lighthouse grounds. These grant applications will require documentation demonstrating that our CCLF Use License Agreement is current. So, the documentation above will be a critical piece of the submittal package in early 2024.

Again, thank you for making the time to discuss these important topics with our leadership team. We look forward to serving SLD 45 for many more years!

Very Respectfully,

Ron Ecker, President  
Cape Canaveral Lighthouse Foundation

[www.canaverallight.org](http://www.canaverallight.org)

A COPY OF THE OFFICIAL REGISTRATION AND FINANCIAL INFORMATION MAY BE OBTAINED FROM THE DIVISION OF CONSUMER SERVICES BY CALLING TOLL-FREE WITHIN THE STATE. REGISTRATION DOES NOT IMPLY ENDORSEMENT, APPROVAL, OR RECOMMENDATION BY THE STATE."

Cape Canaveral Lighthouse Foundation Incorporated  
 Registration Number : CH36475 « 1-800-HELP-FLA (435-7352) [www.FloridaConsumerHelp](http://www.FloridaConsumerHelp)

From: **GRAHAM, ANTHONY C Col USAF SSC SLD 45/CV**  
 <[anthony.graham@spaceforce.mil](mailto:anthony.graham@spaceforce.mil)>  
 Date: Thu, Sep 21, 2023, 10:51 AM  
 Subject: RE: [Non-DoD Source] CCLF Use License Agreement  
 To: Lighthouse Foundation President <[cclf-president@canaverallight.org](mailto:cclf-president@canaverallight.org)>  
 Cc: CRICK, TIFFANY L Capt USSF SSC SLD 45/CVE <[tiffany.crick.3@spaceforce.mil](mailto:tiffany.crick.3@spaceforce.mil)>

CONCUR

Thanks

v/r

ABC

Anthony C. Graham, Col, USAF

Vice Commander, Space Launch Delta 45

Comm: 321-494-6609

DSN: 854-6609

**From:** Lighthouse Foundation President <[cclf-president@canaverallight.org](mailto:cclf-president@canaverallight.org)>  
**Sent:** Thursday, September 21, 2023 10:44 AM  
**To:** GRAHAM, ANTHONY C Col USAF SSC SLD 45/CV <[anthony.graham@spaceforce.mil](mailto:anthony.graham@spaceforce.mil)>  
**Cc:** CRICK, TIFFANY L Capt USSF SSC SLD 45/CVE <[tiffany.crick.3@spaceforce.mil](mailto:tiffany.crick.3@spaceforce.mil)>  
**Subject:** [Non-DoD Source] CCLF Use License Agreement

Dear Colonel Graham

Per your request, the CCLF hereby requests your concurrence that the referenced CCLF Use License Agreement is formally extended in perpetuity, or until such revised Term of Expiration as the SLD 45 sees fit.

Thank you for all you do to keep our light shining into the future.

Ron Ecker, President

Cape Canaveral Lighthouse Foundation

[cclf-president@canaverallight.org](mailto:cclf-president@canaverallight.org)

321-591-9844

License No. USAF-AFSPC-DBEH-15-2-0261

**DEPARTMENT OF THE AIR FORCE**

**LICENSE**

**TO**

**THE CAPE CANAVERAL LIGHTHOUSE FOUNDATION**

**TO USE PROPERTY LOCATED**

**ON**

**CAPE CANAVERAL AIR FORCE STATION**



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**DEPARTMENT OF THE AIR FORCE****LICENSE****TO THE CAPE CANAVERAL LIGHTHOUSE FOUNDATION****TO USE PROPERTY LOCATED  
ON  
CAPE CANAVERAL AIR FORCE STATION****PREAMBLE**

**THE SECRETARY OF THE AIR FORCE**, hereinafter referred to as “Grantor”, acting under the authority of 10 U.S.C. § 8013, hereby grants to The Cape Canaveral Lighthouse Foundation, a corporation or business entity organized and doing business under the laws of the State of Florida, hereinafter referred to as “Grantee”, a License at will for real property surrounding the Cape Canaveral Air Force Station Lighthouse at Cape Canaveral Air Force Station, hereinafter referred to as “Installation,” identified in **EXHIBITS A and B**, both attached hereto and made a part hereof, hereinafter referred to as the “Premises.” Grantor and Grantee, when referred to together, are hereinafter referred to as the “Parties.” For purposes of this License, Grantor includes the United States Government and the Department of the Air Force. The purpose of this License is to allow the Grantee to use land for the development, construction and maintenance of historically significant buildings, structures and infrastructure associated with the Lighthouse.

**THIS LICENSE** is granted subject to the following conditions.

**BASIC TERMS****1. TERM**

**1.0.** The term of this License shall be five (5) years commencing 1 April 2015 (“Term Beginning Date”) and ending 31 March 2020 (“Term Expiration Date”), unless sooner terminated by Grantor. The obligations of Grantee (excluding those of Condition 2), including those regarding remediation of environmental damage and removal of structures, facilities, and equipment installed by Grantee, shall remain in effect after the termination of this License unless otherwise agreed to by the Parties.

**2. RENT**

**2.1.** The consideration for this license will be the protection, care and maintenance of the Premises.

**2.2.** The use, operation, and occupation of the Premises pursuant to this License shall be without cost or expense to the Department of the Air Force.

**3. CORRESPONDENCE**

**3.0.** All correspondence to be sent and notices to be given pursuant to this License shall be addressed, if to Grantor, to 45 CES/CEI, Real Property Office, 1224 Jupiter Street, Patrick AFB, Florida 32925, and, if to Grantee, to P.O. Box 1978, Cape Canaveral, Florida 32920, or as may from time to time otherwise be directed by the Parties. Notice shall be deemed to have been duly given if and when enclosed in a properly sealed envelope or wrapper addressed as aforesaid, deposited, postage prepaid, and postmarked in a post office regularly maintained by the United States Postal Service or any recognized delivery service.

**4. USE OF THE PREMISES**

**4.1.** The use, operation, and occupation of the Premises are subject to the general supervision and control of the Installation Commander or his duly authorized representative, hereinafter referred to as "said officer."

**4.2.** In accepting the rights, privileges, and obligations established hereunder, Grantee recognizes that the Installation serves the national defense and that Grantor will not permit the Grantee to interfere with the Installation's military mission. This Installation is an operating military Installation which is closed to the public and is subject to the provisions of the Internal Security Act of 1950, 50 U.S.C. § 797 and of 18 U.S.C. § 1382. Access to the Installation is subject to the control of its Commanding Officer and is governed by such regulations and orders as have been lawfully promulgated or approved by the Secretary of Defense or by any designated military commander. Any access granted to Grantee, its officers, employees, contractors of any tier, agents, and invitees is subject to such regulations and orders. This License is subject to all regulations and orders currently promulgated or which may be promulgated by lawful authority as well as all other conditions contained in this License. Violation of any such regulations, orders, or conditions may result in the termination of this License. Such regulations and orders may, by way of example and not by way of limitation, include restrictions on who may enter, how many may enter at any one time, when they may enter, and what areas of the Installation they may visit, as well as requirements for background investigations, including those for security clearances, of those entering. Grantee is responsible for the actions of its officers, employees, contractors of any tier, agents, and invitees while on the Installation and acting under this License.

**4.3.** In the event all or any portion of the Premises shall be needed by the United States or in the event the presence of Grantee's property shall be considered detrimental to governmental activities, Grantee shall, from time to time and at Grantee's expense, upon notice to do so, and as often as so notified, remove or relocate its property to such other location or locations on the Premises (or substitute land of Grantor which shall then become part of the Premises) as may be designated by said officer, and in the event Grantee's property shall not be removed or relocated within thirty (30) days after any aforesaid notice, the Installation Commander may cause the same to be done at the expense of the Grantee.

## **5. DEFAULT, REMEDIES, AND TERMINATION**

**5.0.** This License may be terminated at will by the Grantor and such termination shall not create any liability on the part of Grantor for Grantee's costs, anticipated profits or fees, and costs of construction, installation, maintenance, upgrade, and removal of facilities, or any other costs, profits, or fees, and any such costs and anticipated profits or fees will not be recoverable from Grantor.

## **OPERATION OF THE PREMISES**

### **6. EASEMENTS AND RIGHTS OF WAY**

**6.0.** This License is subject to all outstanding easements, rights-of-way, leases, permits, licenses, and uses for any purpose with respect to the Premises. Grantor shall have the right to grant additional easements, rights-of-way, leases, permits, and licenses, and make additional uses with respect to the Premises with due regard for this License.

### **7. CONDITION OF PREMISES**

**7.0.** Grantee has inspected and knows the condition of the Premises. The Premises are granted in an "as is, where is" condition without any warranty, representation, or obligation on the part of Grantor to make any alterations, repairs, improvements, or corrections to defects whether patent or latent. At such times and for such part of the Premises as said officer may determine, the Parties will sign a Physical Condition Report to reflect the condition of the Premises prior to the Premises being disturbed by the activities of Grantee. Such Report shall be used to indicate the condition of the Premises prior to their being disturbed in order to compare them with the Premises subsequent to the activities of Grantee to ensure Grantee has returned the Premises to the condition required by this License.

### **8. MAINTENANCE OF THE PREMISES**

**8.0.** Regarding the Grantee's use of the Premises and its property on the Premises, Grantee shall, at all times, protect, repair, and maintain the Premises in good order and condition at its own expense and without cost or expense to Grantor. Grantee shall exercise due diligence in protecting the Premises against damage or destruction by fire,

vandalism, theft, weather, or other causes related to Grantee's activities. Any property on the Premises damaged or destroyed by Grantee incident to the exercise of the rights and privileges herein granted shall be promptly repaired or replaced by Grantee to the satisfaction of said officer.

## **9. TAXES**

**9.0. Grantee Payment of Taxes.** The Grantee shall pay to the proper authority, when and as the same become due and payable, all taxes, assessments, and similar charges which, at any time during the term of this License may be imposed on the Grantee or the Premises.

## **10. INSURANCE**

**10.1. Risk of Loss.** The Grantee shall, in any event and without prejudice to any other rights of the Government, bear all risk of loss or damage or destruction to the Premises, including any buildings, improvements, fixtures, or other property thereon, arising from any causes whatsoever, with or without fault by the Government; provided, however, the Government shall not be relieved of responsibility for loss or damage that is solely the result of the gross negligence or willful misconduct of the Government to the extent such loss or damage is not covered by coverage of insurance required under this License.

**10.2. License Insurance Coverage.** During the entire period this License shall be in effect, the Grantee, at no expense to the Government, will carry and maintain, and as appropriate, require any contractor performing work on the Premises to carry and maintain, the following at no expense to the Government, the following insurance coverages:

10.2.1. Property insurance coverage against loss or damage by open perils or its equivalent, including fire, in an amount not less than One Hundred Percent (100%) of the full replacement cost of the buildings, building improvements, improvements to the land, fixtures, and personal property on the Premises. The policies of insurance carried in accordance with this Condition shall contain a "Replacement Cost Endorsement." Such full replacement cost shall be determined from time to time, upon the written request of the Government or the Grantee, but not more frequently than once in any twenty-four (24) consecutive calendar month period (except in the event of substantial changes or alterations to the Premises undertaken by the Grantee as permitted under the provisions of the License).

10.2.2. Commercial general liability insurance, on an occurrence basis, insuring against claims for bodily injury, death and property damage, occurring upon, in or about the Premises, including any building thereon and sidewalks, streets, passageways and interior space used to access the Premises. Such insurance must be effective at all times throughout the License Term, with limits of not less than single limit minimum coverage of \$5 million each occurrence and \$10 million aggregate, and include coverage for fire, legal liability, and medical payments. This coverage may be provided under primary

liability and umbrella excess liability policies.

10.2.3. If and to the extent required by law, Workers' compensation or similar insurance covering all persons employed in connection with the work and with respect to whom death or bodily injury claims could be asserted against the Government or the Grantee, in form and amounts required by law (statutory limits), and employers' liability, with limits of \$5 million each coverage and policy limit.

**10.3. General Requirements.** All insurance required by this License shall be: (i) effected under valid and enforceable policies, in such forms and amounts required under this License; (ii) underwritten by insurers authorized to underwrite insurance in the State where the Premises are located, and must have a rating of at least B+ by the most recent edition of *Best's Key Rating Guide*; (iii) provide that no reduction in amount or material change in coverage thereof shall be effective until at least sixty (60) days after receipt by the Government of written notice thereof; (iv) provide that any cancellation of insurance coverage based on nonpayment of the premium shall be effective only upon ten (10) days' written notice to the Government; (v) provide that the insurer shall have no right of subrogation against the Government; and (vi) be reasonably satisfactory to the Government in all other respects. The Government shall appear in all policies as 45 CES/CEI, Real Property Office, 1224 Jupiter Street, Patrick AFB, Florida 32925. In no circumstance will the Grantee be entitled to assign to any third party rights of action that the Grantee may have against the Government. The Grantee understands and agrees that cancellation of any insurance coverage required to be carried and maintained by the Grantee or contractor under this License will constitute a failure to comply with the terms of the License, and the Government shall have the right to terminate the License upon receipt of any such cancellation notice, but only if the Grantee fails to cure such noncompliance to the extent allowed.

**10.4. Commercial general liability and business auto liability insurance required** pursuant to this agreement shall be maintained for the limits specified, and shall provide coverage for the mutual benefit of the Grantee and the Government as an additional insured with equal standing with the named insured for purposes of submitting claims directly with the insurer. Property policies will provide for the Government as a loss payee to the same coverage as the named insured.

**10.5. Evidence of Insurance.** The Grantee shall deliver or cause to be delivered upon execution of this License (and thereafter not less than fifteen (15) days prior to the expiration date of each policy furnished pursuant to this License), at the Government's option, a certified copy of each policy of insurance required by this License, or a certificate of insurance evidencing the insurance and conditions relating thereto required by this License, in a form acceptable to the Government, and including such endorsements necessary.

**10.6. Damage or Destruction of Premises.** In the event all or part of the Premises is damaged (except *de minimis* damage) or destroyed, the Grantee shall promptly give



notice thereof to the Government and the Parties shall proceed as follows:

10.6.1. In the event that the Government in consultation with the Grantee determines that the magnitude of damage is so extensive that the Premises cannot be used by the Grantee for its operations and the repairs, rebuilding, or replacement of the Premises cannot reasonably be expected to be substantially completed within three (3) months of the occurrence of the casualty ("Extensive Damage or Destruction of Premises"), either Party may terminate this License as provided herein. If this License is terminated, any insurance proceeds received as a result of any casualty loss to the Premises shall be applied to the restoration of the Premises prior to being afforded to the Grantee.

10.6.2. In the event that the Government in consultation with the Grantee shall determine that Extensive Damage or Destruction of the Premises has not occurred, neither Party shall have the right to terminate this License. The Grantee shall, as soon as reasonably practicable after the casualty, restore the Premises as nearly as possible to the condition that existed immediately prior to such loss or damage. Any insurance proceeds received as a result of any casualty loss to the Premises shall be applied first to restoring the damaged area and removing any related debris to the reasonable satisfaction of the Government and second, to repairing, rebuilding, and/or replacing the Premises to the reasonable satisfaction of the Government.

10.6.3. Notwithstanding any other provision of this License, the Grantee may, with the prior consent of the Government, self-insure any risk for which insurance coverage is required under this License; provided, however, that if the Grantee's statutory limits of liability or other impediments to the assumption of liability are less than the limits of insurance required in this License, the Grantee shall obtain commercial coverage which is sufficient in amount and nature to satisfy the insurance requirements of this License when added to any such self-insurance. In order to obtain the consent of the Government to self-insure, the Grantee shall provide the Government with a writing setting forth the limitations and impediments, if any, to which the Grantee's self-insurance is subject, the Grantee's source of funds to pay any claim from any risk for which insurance is required under this License, and any other information which the Government may require to assess the Grantee's request. If commercial insurance is required for any purpose, the total amount of commercial insurance and self-insurance shall meet the dollar limitations provided in this License.

## **11. ALTERATIONS**

11.0. No additions to or alterations of the Premises shall be made without the prior written approval of said officer.

## **12. COSTS OF UTILITIES/SERVICES**

12.0. Regarding the Grantee's use of the Premises and its property on the Premises, Grantee is responsible for all utilities, janitorial services, building maintenance, and

grounds maintenance for the Premises without cost to the Department of the Air Force. The Air Force may, if its capabilities permit, consent to provide certain of these services to Grantee on a reimbursable basis.

### **13. RESTORATION**

**13.0.** On or before (or, in the case of abandonment, after) the date of expiration of this License or its termination by the Grantor, Grantee shall vacate the Premises, remove its property therefrom, and restore the Premises to its original condition without expense to the United States. Such restoration shall include, if applicable, removal of contamination caused by Grantee.

## **CHANGES IN OWNERSHIP OR CONTROL**

### **14. TRANSFER, ASSIGNMENT, SUBLETS, OR DISPOSAL**

**14.0.** Grantee shall not transfer, permit, license, assign, lease, or dispose of in any way, including, but not limited to, voluntary or involuntary sale, merger, consolidation, receivership, or other means (all referred to in this Condition 14 as "transfer"), this License or any interest therein or any property on the Premises, or otherwise create any interest therein.

### **15. LIENS AND MORTGAGES**

**15.0.** Grantee shall not engage in any financing or other transaction creating any mortgage upon the Premises, place or suffer to be placed upon the Premises any lien or other encumbrance, or suffer any levy or attachment to be made on Grantee's interest in the Premises under this License. On the date of the execution or filing of record of any such mortgage, encumbrance, or lien, regardless of whether or when it is foreclosed or otherwise enforced, this License shall terminate without further action by Grantor.

## **ENVIRONMENT**

### **16. ENVIRONMENTAL COMPLIANCE**

**16.1.** In its activities under this License, Grantee shall comply with all applicable environmental requirements, and in particular those requirements concerning the protection and enhancement of environmental quality, pollution control and abatement, safe drinking water, and solid and hazardous waste. Responsibility for compliance with such requirements rests exclusively with Grantee, including liability for any fines, penalties, or other similar enforcement costs.

**16.2.** The Licensee shall comply with the Cape Canaveral Air Force Station and 45 Space Wing spill prevention control and countermeasure plan and hazardous materials/wastes plan, or in the alternative, its own such plans for operations on the

Premises, provided the plans have been approved by the appropriate regulatory authorities and are acceptable to the Commander.

## **17. ASBESTOS-CONTAINING MATERIALS AND LEAD-BASED PAINT**

**17.1. Asbestos-Containing Materials (ACM).** The Grantee is warned that the Leased Premises may contain current and former improvements, such as buildings, facilities, equipment, and pipelines, above and/or below the ground, that may contain ACM. The grantee shall refer to the Environmental Baseline Survey (EBS) attached here as Exhibit D for disclosure of known ACM on the Premises. The Government is not responsible for any handling, removal or containment of asbestos or ACM, associated with or attributable to improvements of the Premises by the grantee or, to the extent consistent with applicable law, for any liability related thereto.

**17.2. Lead-Based Paint (LBP).** The Grantee recognizes and acknowledges that LBP materials may be present on exterior and interior surfaces of facilities within the Premises or in the soil. The Grantee will be responsible at its sole cost and expense for the management, maintenance, removal and disposal of all LBP either located in or attributable to the Improvements of the Premises by the Grantee. Removal and disposal of LBP must be carried out in compliance with all Applicable Laws.

## **18. SAFETY, HAZARDOUS MATERIALS, AND WASTE MANAGEMENT**

**18.1.** Grantee, at its expense, shall comply with all applicable laws on occupational safety and health, the handling and storage of hazardous materials, and the proper handling and disposal of hazardous wastes and hazardous substances generated by its activities. Responsibility for the costs of proper handling and disposal of hazardous wastes and hazardous substances discovered on the Premises is governed by applicable law. The terms hazardous materials, hazardous wastes, and hazardous substances are as defined in the Federal Water Pollution Control Act, the Comprehensive Environmental Response, Compensation, and Liability Act of 1980, the Solid Waste Disposal Act, the Clean Air Act, and the Toxic Substances Control Act, and their implementing regulations, as they have been or may be amended from time to time.

**18.2.** Any unexploded ordnance, as that term is defined in Title 10, United States Code, discovered on the Premises by Grantee is the responsibility of Grantor and will not be disturbed by Grantee but, upon discovery, shall be immediately reported to said officer.

## **19. HISTORIC PRESERVATION**

**19.0.** Grantee shall not remove or disturb, or cause or permit to be removed or disturbed, any historical, archaeological, architectural, or other cultural artifacts, relics, vestiges, remains, or objects of antiquity. In the event such items are discovered on the Premises, Grantee shall cease its activities at the site and immediately notify said officer and protect

the site and the material from further disturbance until said officer gives clearance to proceed. Any costs resulting from this delay shall be the responsibility of Grantee.

## **20. INSTALLATION RESTORATION PROGRAM (IRP)**

**20.1. IRP Records.** On or before the Term Beginning Date, the Government shall provide the Grantee access to the IRP records applicable to the Premises, if any, and thereafter shall provide to the Grantee a copy of any amendments to or restatements of the IRP records affecting the Premises. If the Installation has been listed on the National Priorities List (NPL) at the time this License is granted, or is listed subsequent to the granting of this License, the Air Force will provide the Grantee with a copy of any Federal Facility Agreement (FFA) that is entered into between the Air Force and the U.S. Environmental Protection Agency (USEPA), along with any amendments to the FFA when they become effective. Should any conflict arise between the terms of the FFA as it may be amended and the provisions of this License, the terms of the FFA shall govern.

**20.2. No Liability for Interference.** The Grantee expressly acknowledges that it fully understands the potential for some or all of the response actions to be undertaken with respect to the IRP may impact the Grantee's quiet use and enjoyment of the Premises. The Grantee agrees that notwithstanding any other provision of this License, the Government shall have no liability to the Grantee should implementation of the IRP or other hazardous waste cleanup requirements, whether imposed by law, regulatory agencies, or the Government or the Department of Defense, interfere with the Grantee's use of the Premises. The Grantee shall have no claim or cause of action against the United States, or any officer, agent, employee, contractor, or subcontractor thereof, on account of any such interference, whether due to entry, performance of remedial or removal investigations, or exercise of any right with respect to the IRP or under this License or otherwise.

**20.3. Government Right of Entry.** The Government and its officers, agents, employees, contractors, and subcontractors shall have the right, upon reasonable notice to the Grantee, to enter upon the Premises for the purposes enumerated in this Condition.

20.3.1. To conduct investigations and surveys, including, where necessary, drilling, soil and water samplings, test pitting, testing soil borings, and other activities related to the IRP;

20.3.2. To inspect field activities of the Government and its contractors and subcontractors in implementing the IRP;

20.3.3. To conduct any test or survey related to the implementation of the IRP or environmental conditions at the Premises or to verify any data submitted to the United States Environmental Protection Agency (EPA) or the State environmental department by the Government relating to such conditions; and

20.3.4. To construct, operate, maintain, or undertake any other response or remedial action as required or necessary under the IRP, including, but not limited to, monitoring wells, pumping wells, and treatment facilities. Any investigations and surveys, drilling, test pitting, test soil borings, and other activities undertaken pursuant to this Subparagraph 20.3.4 shall be conducted in a manner that is as inconspicuous as practicable. Any monitoring wells, pumping wells, and treatment facilities required pursuant to this Paragraph 20.3.4 shall be designed and installed to be as inconspicuous as practicable. The Government shall attempt to minimize any interference with the Grantee's quiet use and enjoyment of the Premises arising as the result of such wells and treatment facilities. The Government shall, subject to the availability of appropriations therefor, repair any damage caused by its exercise of the rights in this Paragraph.

**20.4. Response or Remedial Actions.** The Grantee agrees to comply with the provisions of any health or safety plan in effect under the IRP or any hazardous substance remediation or response agreement with environmental regulatory authorities during the course of any of the above described response or remedial actions. Any inspection, survey, investigation, or other response or remedial action will, to the extent practicable, be coordinated with representatives designated by the Grantee. The Grantee or its invitees shall have no claim arising from such entries against the Government or any of its officers, agents, employees, contractors, or subcontractors. In addition, the Grantee shall comply with all applicable Federal, state, and local occupational safety and health regulations.

**20.5. Alterations and Environmental Cleanup.** The Grantee further agrees that it shall deliver to the Government prior written notice accompanied by a detailed written description of all proposals for any Alterations (as defined in Condition 11) that may impede or impair any activities under the IRP, or the FFA if applicable, or are to be undertaken in certain areas of the Premises identified as "Areas of Special Notice" on **Exhibit C** to this License. These Areas of Special Notice consist of either "Operable Units" (as defined in the National Contingency Plan) or other areas of concern because of the potential for environmental contamination and include buffer areas as shown on **Exhibit C**. The notice and accompanying written description of such proposals shall be provided to the Government sixty (60) days in advance of the commencement of any such Alterations. In addition, Alterations shall not commence until Grantee has complied with the provisions of Condition 11. The detailed written description must include the effect such planned work may have on site soil and groundwater conditions and the cleanup efforts contemplated under the IRP and the FFA, if applicable. Notwithstanding the preceding three sentences, the Grantee shall be under no obligation to provide advance written notice of any Alterations that will be undertaken totally within any structure located on the Premises, provided that such work will not impede or impair any activities under the IRP or the FFA, if applicable. However, any work below the floor of any such structure within any Area of Special Notice that will involve excavating in and/or disturbing concrete flooring, soil and/or groundwater, or will impede or impair any activities under the IRP or the FFA, if applicable, will be subject to the sixty (60) day notice requirement imposed by this Condition 20.5.

## **21. ENVIRONMENTAL BASELINE SURVEY/ CONDITION OF PROPERTY**

**21.0.** An Environmental Baseline Survey (EBS) or EBS waiver for the Premises dated April 2014, has been delivered to the Grantee and is attached as **Exhibit D** hereto. If provided, the EBS sets forth those environmental conditions and matters on and affecting the Premises on the Term Beginning Date as determined from the records and analyses reflected therein. The EBS is not, and shall not constitute, a representation or warranty on the part of the Government regarding the environmental or physical condition of the Premises, and the Government shall have no liability in connection with the accuracy or completeness thereof. In this regard the Grantee acknowledges and agrees that the Grantee has relied, and shall rely, entirely on its own investigation of the Premises in determining whether to enter into this License. A separate EBS for the Premises shall be prepared by the Government, after the expiration or earlier termination of this License ("Final EBS"). Such Final EBS shall document the environmental conditions and matters on and affecting the Premises on the Term Expiration Date as determined from the records and analyses reflected therein. The Final EBS will be used by the Government to determine whether the Grantee has fulfilled its obligations to maintain and restore the Premises under this License including, without limitation, Paragraphs 13 and 16.

## **GENERAL PROVISIONS**

### **22. GENERAL PROVISIONS (AIR FORCE PROPERTY)**

**22.0.** Any interference with the use of or damage to property under control of the Department of the Air Force, incident to the exercise of the rights and privileges herein granted shall be promptly corrected by Grantee to the satisfaction of said officer. If Grantee fails to promptly repair or replace any such property after being notified to do so by said officer, said officer may repair or replace such property and Grantee shall be liable for the costs of such repair or replacement.

### **23. SPECIAL PROVISIONS**

**23.0.** RESERVED.

### **24. RIGHTS NOT IMPAIRED**

**24.1. Rights Not Impaired.** Nothing contained in this License shall be construed to diminish, limit, or restrict any right, prerogative, or authority of the Government over the Premises relating to the security or mission of the Installation, the health, welfare, safety, or security of persons on the Installation, or the maintenance of good order and discipline on the Installation, as established in law, regulation, or military custom.

**24.2. Installation Access.** The Grantee acknowledges that it understands that the Installation is an operating military Installation that could remain closed to the public and accepts that the Grantee's operations may from time to time be restricted temporarily or



permanently due to the needs of national defense. Access on the Installation may also be restricted due to inclement weather and natural disasters. The Grantee further acknowledges that the Government strictly enforces Federal laws and Air Force regulations concerning controlled substances (drugs) and that personnel, vehicles, supplies, and equipment entering the Installation are subject to search and seizure under 18 U.S.C. § 1382. The Government will use reasonable diligence in permitting the Grantee access to the Premises at all times, subject to the provisions of this paragraph. Notwithstanding the foregoing, the Grantee agrees the Government will not be responsible for lost time or costs incurred due to interference, delays in entry, temporary loss of access, barring of individual employees from the base under Federal laws authorizing such actions, limitation, or withdrawal of an employee's on-base driving privileges, or any other security action that may cause employees to be late to, or unavailable at, their work stations, or delay arrival of parts and supplies. The Government retains the right to refuse access to the Premises by the Grantee Parties. The Grantee, its assignees, employees, and invitees fully agree to abide with all access restrictions imposed by the Government in the interest of national defense.

**24.3. Permanent Removal and Barment.** Notwithstanding anything contained in this License to the contrary, the Government has the right at all times to order the permanent removal and barment of anyone from the Installation, including but not limited to Grantee's officers, employees, contractors of any tier, agents, and invitees, if it believes, in its sole discretion, that the continued presence on the Installation of that person represents a threat to the security or mission of the Installation, poses a threat to the health, welfare, safety, or security of persons occupying the Installation, or compromises good order and/or discipline on the Installation.

**24.4. No Diminishment of Rights.** Except as provided in Paragraph 24.1, nothing in this License shall be construed to diminish, limit, or restrict any right of the Grantee under this License.

## **25. COMPLIANCE WITH APPLICABLE LAWS**

**25.0.** Grantee shall comply with all applicable Federal, state, interstate, and local laws, regulations, and requirements. This may include the need for Grantee to obtain permits to engage in its activity. Grantor is not responsible for obtaining permits for Grantee nor for allowing Grantee to use permits obtained by Grantor.

## **26. AVAILABILITY OF FUNDS**

**26.0.** The obligations of Grantor under this License shall be subject to the availability of appropriated funds. No appropriated funds are obligated by this License.

## **27. CONGRESSIONAL REPORTING**

**27.0.** This License is not subject to 10 U.S.C. § 2662.

**28. AMENDMENTS**

**28.0.** This License may only be modified or amended by the written agreement of the Parties, duly signed by their authorized representatives.

**29. GENERAL INDEMNIFICATION**

**29.1.** Grantor shall not be responsible for damage to property or injuries to persons which may arise from, or be attributable or incident to, the condition or state of repair of the Premises, due to its use and occupation by Grantee. Grantee agrees that it assumes all risks of loss or damage to property and injury or death to persons, whether to its officers, employees, contractors of any tier, agents, invitees, or others, by reason of or incident to Grantee's use of the Premises, and its activities conducted under this License. Grantee shall, at its expense, pay any settlements of or judgments on claims arising out of its use of the Premises.

**29.2.** Grantee shall indemnify and hold Grantor harmless against any and all judgments, expenses, taxes, liabilities, claims, and charges of whatever kind or nature that may arise as a result of the activities of Grantee under this License, whether tortious, contractual, or other, except to the extent such damage is the result of gross negligence or willful misconduct on the part of the Grantor.

**30. ENTIRE AGREEMENT**

**30.0.** It is expressly understood and agreed that this written instrument embodies the entire agreement between the Parties regarding the use of the Premises by the Grantee, and there are no understandings or agreements, verbal or otherwise, between the Parties except as expressly set forth herein.

**31. CONDITION AND PARAGRAPH HEADINGS**

**31.0.** The headings contained in this License, its Attachments, and Exhibits are to facilitate reference only and shall not in any way affect the construction or interpretation hereof.

**32. STATUTORY AND REGULATORY REFERENCES**

**32.0.** Any reference to a statute or regulation in this License shall be interpreted as being a reference to the statute or regulation as it has been or may be amended from time to time.

**33. PRIOR AGREEMENTS**

**33.0.** This License supersedes all prior agreements, if any, to the Grantee for the Premises, but does not terminate any obligations of the Grantee under such prior Licenses

License No. USAF-AFSPC-DBEH-15-2-0261

that may by their terms survive the termination or expiration of those Licenses, except to the extent such obligations are inconsistent with this License.

### **34. EXHIBITS**

**34.0.** Five exhibits are attached to and made a part of this License, as follows:

Exhibit A – MAP OF PREMISES

Exhibit B – DESCRIPTION OF PREMISES

Exhibit C – AREAS OF SPECIAL NOTICE


Exhibit D – ENVIRONMENTAL BASELINE SURVEY/ENVIRONMENTAL  
CONDITION OF THE PROPERTY

Exhibit E – ENVIRONMENTAL MANAGEMENT PLAN

License No. USAF-AFSPC-DBEH-15-2-0261


IN WITNESS whereof, I have hereunto set my hand by authority of the Secretary of the Air Force, this 25 day of June, 2015.

THE UNITED STATES OF AMERICA  
by the Secretary of the Air Force

BY:   
NINA M. ARMAGNO  
Brigadier General, USAF  
Commander

This License is also executed by Grantee this 2<sup>nd</sup> day of July, 2015.

CAPE CANAVERAL LIGHTHOUSE FOUNDATION (CCLF)

  
G. ROBERT MERRILEES, RADM (RET)  
President, CCLF

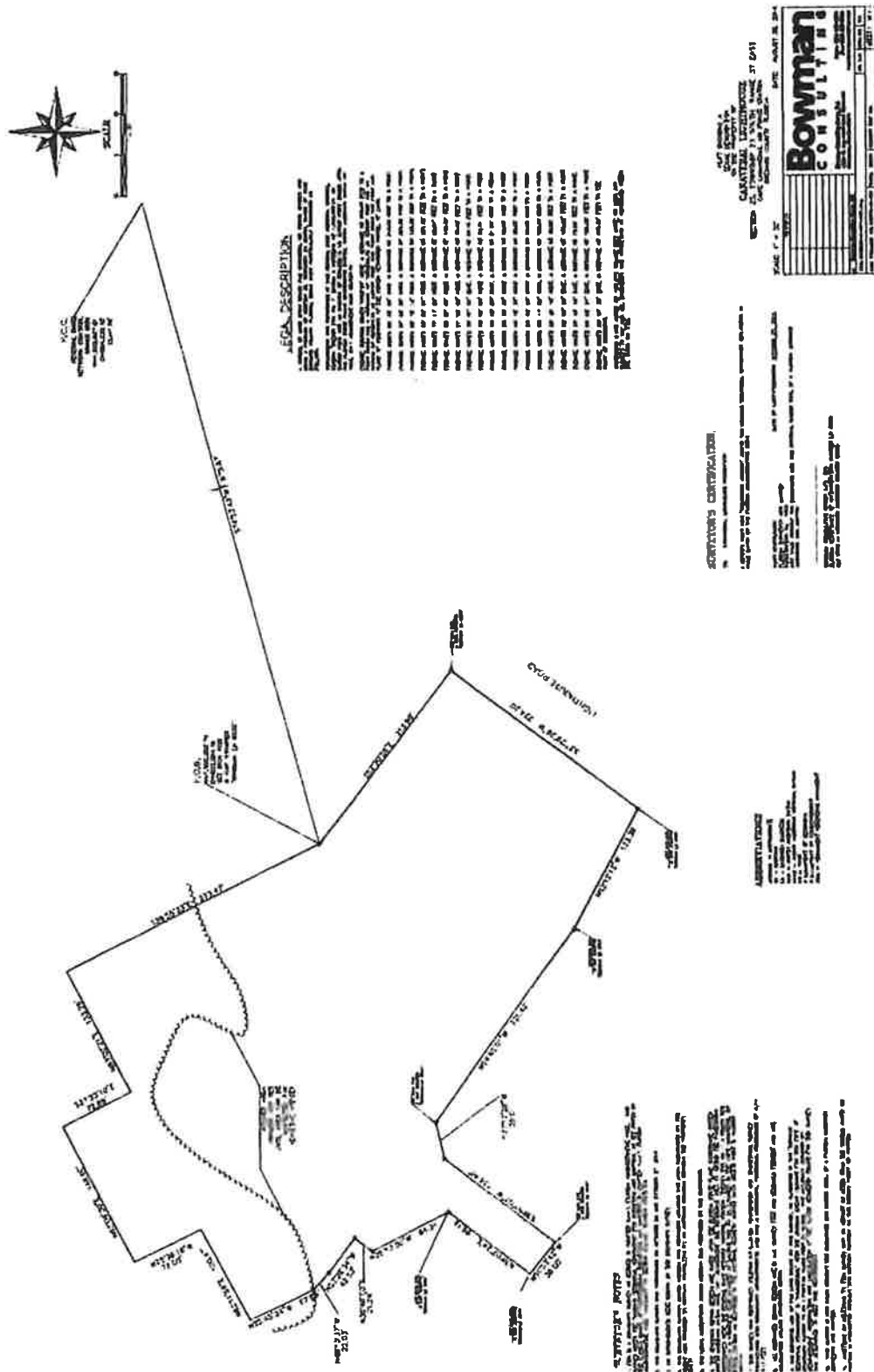
License No. USAF-AFSPC-DBEH-15-2-0261

**EXHIBIT A—MAP OF PREMISES**



**Lighthouse Area at Cape Canaveral Air Force Station**

## BOUNDARY SURVEY





**EXHIBIT B—DESCRIPTION OF PREMISES**

Facility 7700, lighthouse, was built in 1868 of stone block and mortar walls and a built up roof. The structure is approximately 160 feet tall with a footprint of approximately 980 square feet. The structure has been evaluated as Individual National Register Eligible on 1 September 2006. The physical address of the lighthouse is 4001 Lighthouse Road, Cape Canaveral Air Force Station, FL 32925.

Facility 7701 (formerly known as 1355), oil house, was built in 1900 of brick walls and a shingle roof which was replaced with a metal roof. The structure contains approximately 225 square feet. The structure has been evaluated as Individual National Register Eligible on 1 April 2006. The physical address of the oil house is 4001A Lighthouse Road, Cape Canaveral Air Force Station, FL 32925.

The Premises contains approximately 5 acres of land comprised of generally flat topography of mowed grass. The area contains unpaved parking and a pathway of crushed white shells bordered by rocks.

Exhibit A contains a map and boundary survey of premises.

**EXHIBIT C—AREAS OF SPECIAL NOTICE**
**UNITED STATES AIR FORCE**  
**45<sup>TH</sup> SPACE WING**
**Fact Sheet For: LIGHTHOUSE AREA, FACILITY 47700, SWMU NO. 200**  
**INSTALLATION RESTORATION PROGRAM, SITE 43479**  
**CAPE CANAVERAL AIR FORCE STATION, FLORIDA**

**Current Status:** SOIL REMEDIATION COMPLETED—NO REMAINING SOIL CONCERNS,  
 GROUNDWATER LONG TERM MONITORING AND CONTROLS UNDERWAY

With Military Solid Waste Management Unit (SWMU) No. 200, the Lighthouse Area is located west of Lighthouse Road (see site map below) south of its intersection with Cape Road B in Cape Canaveral Air Force Station (CCAFS). The Lighthouse Area is located just north of Hangar C. The current light house was originally constructed in 1941 at a location farther to the east replacing an earlier structure that was deemed too short to provide adequate logistical assistance. It was moved to its current location in 1995 when drawline erosion threatened the previous site. Originally there were several long, one- and two-story structures on the site in addition to the steel-plated lighthouse. When CCAFS was created, new structures were added for use by the military and some existing structures were adapted for industrial use. Today only the lighthouse stand and several small support structures remain.

During routine painting activities in 2004, contamination in the surrounding soil was identified, likely due to historical paint maintenance activities in the area. Other activities in the area with a potential environmental impact include historical storage activities and vehicle repair operations.

The Lighthouse Area was originally included in SWMU No. 081 investigations that primarily focused on the nearby Towhee Area, but did not include any assessment at the vicinity of the Lighthouse. SWMU No. 081 was approved for No Further Action in 1991. Based on the discovery of paint-related contamination in the Lighthouse Area in 2004, post operations at the vicinity were reviewed in greater detail. A number of previously unreported facilities were identified. It was decided to establish the Lighthouse Area as a separate SWMU and proceed through the RCRA Corrective Action Process there.

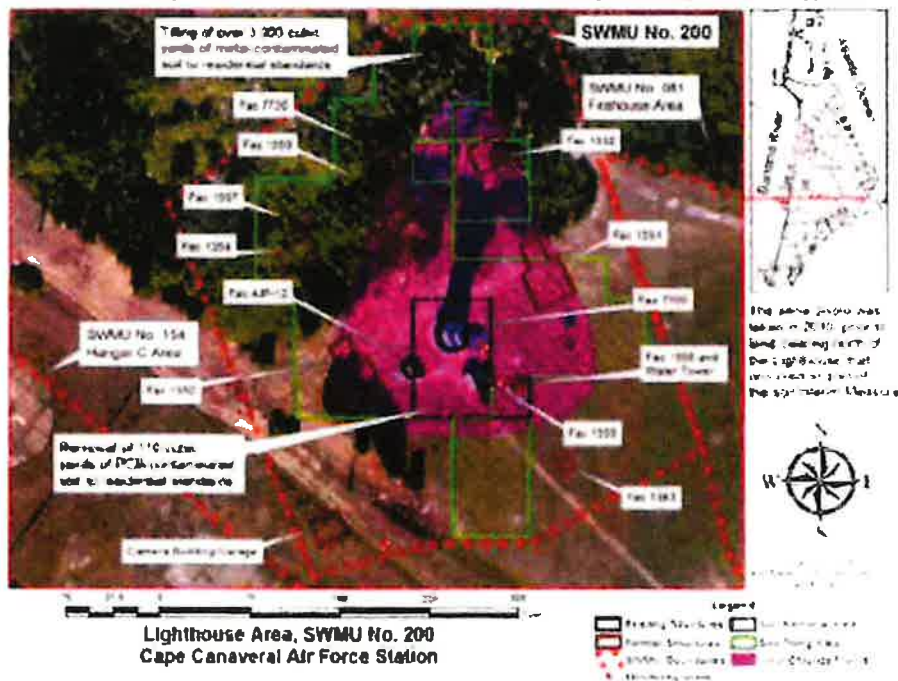
**Environmental Media and Contaminants:**

Groundwater: Residual industrial solvent and metals were detected in groundwater at concentrations above screening values. The low level and isolated nature of the detection did not warrant treatment. The decision was made to incorporate the well into the nearby monitoring program at Hangar C. Within the first year of monitoring, metals monitoring was eliminated. One well continues to be monitored for low level volatile chemicals. Soil: Lead, arsenic, barium, and PCBs were detected at concentrations exceeding residential cleanup levels. Contaminant sources include on-site filling of storage and waste and various contamination. PCBs are not suitable for filling, so a small area was excavated and disposed off site.

Corrective Action Summary: In accordance with the U.S. Environmental Protection Agency's Remedial Investigation and Remedial Action (RI/RA) Preliminary Assessment (PA) of this site was completed in 2004. That was based on former facilities in the area that were active under the PA. Confirmation Sampling (CS) and additional investigations were then completed. The final Confirmation Sampling Report was issued in 2006. Remediation for the site includes soil remediation and maintenance of a groundwater monitoring and land use control (LUC) program. Since groundwater contamination was not detected and limited in extent, the decision was made to include the monitoring wells (one for volatile chemicals and two for metals) in the nearby Hangar C monitoring program. Within a year of completion, monitoring both with soil and groundwater were eliminated. Volatile chemical monitoring remains.

Due to cultural and archaeological issues, it is not a regulatory requirement project at this site. When a single remedy was derived from the site, the work from the Florida Department of Environmental Protection, the State Military Preservation Office, and the Tribal Historic Preservation Office helped identify and taking on a variety of measures to reduce metal contamination in local soils for unexcavated on-site and ensure that any artifacts remained on site. Since the area containing PCBs was very limited, it was agreed that those soils could be excavated and then disposed off site. The rest of the contaminated area was sealed in 15 containers. The project was successfully undertaken to avoid damaging features of site features. All soil to be removed from the site was removed for off-site disposal. It was also agreed to be filled that the excavation archeologist deemed potentially significant. Over 1,000 cubic yards of soil were moved and disposed off site.

Future Action: Soil has been approved for No Further Action (monitored no action). Groundwater monitoring and control will continue until residual contamination is fully degraded, to levels safe for unrestricted use. A timeline of final remediation for the site is being prepared.



Ex. para Dec 2011



## UNITED STATES AIR FORCE 45<sup>th</sup> SPACE WING

Fact Sheet For: HANGAR AREA AND SUBSTATION TRANSFORMER AT  
FACILITY 7802, SWMU NO. 154  
INSTALLATION RESTORATION PROGRAM- SITE DPO-1  
CAPE CANAVERAL AIR FORCE STATION, FLORIDA



Current Status: MONITORED NATURAL ATTENUATION OF GROUNDWATER ON  
GOING, MAINTENANCE OF GROUNDWATER AND USE CONTROLS

**Site History:** Solid Waste Management Unit (SWMU) No. 154 consists of the Hangar C Area located in the western portion of Cape Canaveral Air Force Station (CCAFS) Industrial Area, west of Lighthouse Road and north of Control Tower Road (see site map below). Hangar C was constructed in 1953 and is one of the older hangars on the installation. Over the years, it has housed a variety of functions including assembly of missiles under the Vanguard program and refurbishment of missiles for the Air Force Space and Missile Museum. This SWMU was originally identified during the installation-wide Polychlorinated Biphenyl (PCB) Transformer Preliminary Assessment (PA) which was undertaken to evaluate areas where electrical equipment that historically contained PCB dielectric fluid may have released PCBs to the environment. The substation transformer (Facility 7802) located in the western corner of the hangar was brought into service in the 1950s and was identified for additional evaluation under the PCB PA. Since the Hangar C Area had never been previously investigated, it was decided to expand the boundaries of the SWMU and include the entire area in the expanded assessment.

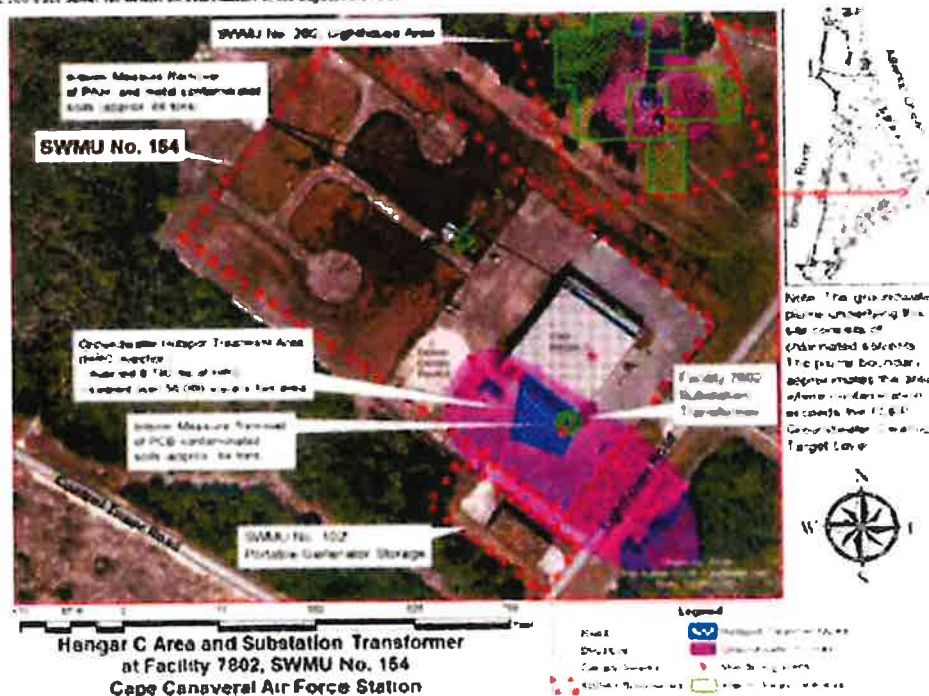
### Environmental Media and Contamination

**Groundwater:** Dichlorodibenzo (DDB) and vinyl chloride (VC) were detected in the groundwater at concentrations that warranted a groundwater treatment action.

**Soil:** PCBs, polynuclear aromatic hydrocarbons (PAHs), and metals contamination in excess of regulatory standards was identified in the soil. Two In Situ Monitoring (ISM) were performed to monitor the contaminated soil down to seasonal groundwater table. The surface water bodies are located at or near the site.

**Corrective Action Summary:** In accordance with the U.S. Environmental Protection Agency's Resource Conservation and Recovery Act (RCRA)'s Preliminary Assessment (PA) identified Facility 7802 as a location that historically utilized electrical equipment containing PCB dielectric fluid. Initial Confirmatory Sampling (CS) was completed as the second stage of the PA in 2001. The PA CS Report identified PCB constituent levels in one soil that exceeded regulatory standards. Due to the levels of PCBs that were present in soil, an Extended CS was planned to delineate the soil contamination and evaluate groundwater to ensure that surface contamination had not leached into the subsurface. At that time, it was decided to further expand the assessment to include the Hangar C area as a whole. Hangar C had not previously been assessed by the IRP and most of the hangars on the installation are known to have supported operations that utilized hazardous and toxic substances or produced waste. Therefore, the SWMU boundaries were expanded and the Extended CS included groundwater and soil sampling from throughout the Hangar C area. In 2003, an ISM was conducted in order to remove the PCB-contaminated soil from the area surrounding the transformer. Sixty-four (64) tons of contaminated soils were removed and transported for off-site disposal. Concurrent with the CS in 2004, a second ISM was conducted in order to remove PAH and metal-contaminated soils that were identified elsewhere on the site during the CS. Sixty-six (66) tons of contaminated soils were removed and transported for off-site disposal. The CS concluded with a recommendation of No Further Action (NFA) for soil at Hangar C. No PCBs were detected in groundwater during the CS, but chlorinated solvent residuals were detected. Since concentrations exceed the State standards that allow monitored natural attenuation as the default action, a groundwater treatment ISM was initiated upon completion of the CS. In 2005, hydrogen-releasing compound was injected into the subsurface in order to facilitate the degradation of the chlorinated solvent contamination. In 2001 and 2004, two rounds of injections were performed to introduce hydrogen-releasing compound into the subsurface, facilitating the degradation of the chlorinated solvent contamination. A total of 1,790 pounds of treatment agent were injected. Upon completion of these injection actions, monitored natural attenuation was approved as the remedy for remaining groundwater contamination. A Statement of Basis (SOB) was prepared, documenting this recommendation.

**Future Action:** ISM activities concluded with a recommendation for No Further Action on soil at Hangar C. Monitored Natural Attenuation is ongoing to track and assess the continued natural degradation of residual groundwater contamination. Land Use Controls (LUC) will also be maintained until residual contamination is within regulatory standards. As of approximately 2009, low-level vinyl chloride contamination in the nearby Lighthouse Area (SWMU C 200) has been combined into the Hangar C monitoring program. This was appropriate for several reasons, including the proximity of the two sites, the similarity of groundwater contamination at both sites, and the limited extent and low concentration of contamination in the Lighthouse Area. (Refer to C 200 Fact Sheet for details on assessment in the Lighthouse Area).



License No. USAF-AFSPC-DBEH-15-2-0261

**EXHIBIT D—ENVIRONMENTAL BASELINE SURVEY/ENVIRONMENTAL CONDITION OF  
THE PREMISES**

License No. USAF-AFSPC-DBEH-15-2-0261

**PHASE I ENVIRONMENTAL BASELINE SURVEY  
LIGHTHOUSE, OILHOUSE AND PROPERTY  
CAPE CANAVERAL AIR FORCE STATION  
BREVARD COUNTY, FLORIDA**

**PREPARED FOR:**

**Cape Canaveral Lighthouse Foundation  
P.O. Box 1978  
Cape Canaveral, Florida 32920**

**And**

**45<sup>th</sup> Space Wing, CCAFS Florida**

**PREPARED BY:**

**Gator Engineering & Aquifer Restoration, Inc**



**April, 2014**

License No. USAF-AFSPC-DBEH-15-2-0261**8.0 CERTIFICATIONS****8.1 CERTIFICATIONS BY ENVIRONMENTAL PROFESSIONALS**

This Phase I Environmental Baseline Survey was prepared for the proposed license to the Foundation the CCAFS lighthouse facility and surrounding land area. We declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in 40 C.F.R. 312.10. We have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed all of the appropriate inquiries in conformance with the standards and practices set forth in 40 C.F.R. Part 312.

Certified by



Date:



John Kaefer FMP  
Environmental Manager  
Gator Engineering & Aquifer Restoration

Approved by



Date:



A. James Kady PE  
Engineering Manager  
Gator Engineering & Aquifer Restoration



License No. USAF-AFSPC-DBEH-15-2-0261**8.2 CERTIFICATION OF THE ENVIRONMENTAL BASELINE SURVEY**

Gator Engineering & Aquifer Restoration, Inc. (GEAR) has conducted the Environmental Baseline Survey on behalf of the CCAFS Lighthouse Foundation. GEAR has reviewed all appropriate records made available, and conducted visual inspections of the selected facilities following an analysis of information during the record search. The information contained within the survey report is based on records made available and to the best of the Preparer's knowledge is correct and current as of April 10, 2014.

Certified by

  
 Jim Kelly P.E.


Project Engineer

Gator Engineering &amp; Aquifer Restoration

Date

5/8/14

Approved by

  
 Patrick S. Gimewski, Chief  
 Installation Management Flight  
 USAF 45 SW

Date

4/10/14

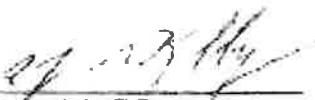
Phase I Environmental Baseline Survey - CCAFS Lighthouse Facility - April 2014

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License No. USAF-AFSPC-DBEH-15-2-0261**6.3 CERTIFICATION OF PCB CLEARANCE**

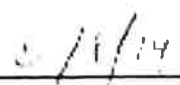
A record search and on-site inspection indicate that this property does not now contain PCB equipment or material but had been exposed in the past to paint containing PCBs. However those records indicate the paint, and any paint chips and/or dust containing PCBs has been removed from the property

Certified by



Jim Kelly P.E.  
Project Engineer  
Galco Engineering & Aquifer Restoration

Date:



Approved by



Patrick S. Gmiewski, Chief  
Installation Management Flight  
USAF, 45 SW

Date



**EXHIBIT E—ENVIRONMENTAL MANAGEMENT PLAN**

The purpose of this exhibit is to identify special environmental considerations for the use of the Cape Canaveral Air Station Lighthouse (Facility 7700), Oil House (Facility 7701), and associated brick sidewalk(s) by the Cape Canaveral Lighthouse Foundation (CCLF). The facilities and associated infrastructure are all considered Individual National Register Eligible and as such require special consideration for use and/or general maintenance. Any questions or clarifications should be directed to the 45 SW Cultural Resource Office at (321) 853-0886.

The following actions are authorized without prior approval from the 45 SW Cultural Resource Office:

- Maintenance of existing grounds and landscaping
- Pruning of shrubbery and trees to allow light to reach walls and prevent undue dampness and mildew
- Routine cleaning of gutters and downspouts
- Cleaning walls, floors and ceilings with water and natural bristle brushes
- Repair of parking areas and roads in existing locations with materials and finishes that match existing materials and finishes
- Reglazing and caulking broken window panes to match original
- Replacement or repair of existing window screening to match existing
- Replacement or repair of existing door screening to match existing

The following actions are NOT authorized without prior approval from the 45 SW Cultural Resource Office:

- Painting of the structure (interior and exterior)
- Altering brick walls, flooring, cabinets, wooden walls, doors, windows, etc (this includes hanging or attaching ANYTHING to the walls)
- Allowing anyone, unless authorized, to go above level 5 in the lighthouse
- Altering lighting inside lighthouse
- Driving, parking or walking on the prehistoric archaeological component
- Digging of any kind anywhere on the site
- Altering the exterior of the lighthouse or oil house
- Altering the interior of the lighthouse or oil house
- Use of ANY cleaning fluids of ANY kind (exception: window cleaner on new window panes)
- Storing hazardous materials of any kind

MEMORANDUM OF AGREEMENT BETWEEN  
THE 45TH SPACE WING  
AND  
THE CAPE CANAVERAL LIGHTHOUSE FOUNDATION, INC.  
FOR  
LOCAL ID AGREEMENT NUMBER 15A-2-15 OR  
AFI 25-201 AGREEMENT NUMBER FB2520-19XXX-515

This is a Memorandum of Agreement (MOA) between the 45th Space Wing, (45 SW) and the Cape Canaveral Lighthouse Foundation, Inc., (CCLF). When referred to, the 45 SW and CCLF are referred to as Supplier and Receiver, respectively.

1. **BACKGROUND:** The Cape Canaveral Lighthouse (herein after referred to simply as "the Lighthouse") is owned and maintained by the 45 SW. The United States Coast Guard operates the lighthouse beacon as a navigational aid. The 45 SW collects, preserves, restores, interprets, and exhibits the Lighthouse and items that relate to the heritage of the Lighthouse mission. In addition, the 45 SW serves as a medium to inform and educate the public on the important historical significance of the Lighthouse to the Florida Space Coast, the State of Florida and the United States.

2. **PURPOSE:** The 45 SW Commander is responsible for the overall operation of the Lighthouse. The 45 SW Commander exercises this authority through the 45th Mission Support Group Commander and the 45th Mission Support Group/Detachment1, Commander. The CCLF is responsible to the 45 SW Commander for Foundation activities. The CCLF will coordinate activities that may affect the USAF with the 45 SW's designated representative. The CCLF is a philanthropic organization whose purpose is to assist in the development and operation of the Lighthouse and other historic sites as they relate to the Lighthouse and to support the 45 SW to preserve this historical landmark. The CCLF may raise funds and provide financial support to maintain the operation of the Lighthouse and other related historic sites as they relate to the Lighthouse. They also Receive and administer gifts from persons, organizations, corporations, foundations and philanthropies for the best interest of the Lighthouse and the 45 SW.

### 3. RESPONSIBILITIES OF THE PARTIES:

#### 3.1. The Supplier Will:

3.1.1. Provide funding for the following operations and maintenance expenses of the Lighthouse to the extent funds are available and such funding is consistent with other priorities:

3.1.1.1. Utilities

3.1.1.2. Security and fire protection

3.1.1.3. Routine maintenance and repair of the facilities and USAF-owned Exhibits, (mostly pictures) as permitted by mission priorities.

3.1.1.4. Other expenditures as permitted by public law, Department of Defense and USAF guidance, policy, directives, regulations and instructions.

3.1.2. In accordance with reference 2.1. above, authorize and approve the operation of a CCLF gift shop.

3.1.3. Provide, via 45th Mission Support Group/Detachment 1, periodic and timely information about the Lighthouse's current and future operations, including any formal planning or budget documents.

3.2. The Receiver will:

3.2.1. Conduct operation in accordance with AFI 34-223, *Private Organizations Programs* in compliance with other relevant law or regulations.

3.2.2. Operate/manage the gift shop.

3.2.3. To the extent Foundation funds are available, and subject to approval by Foundation Board of Directors, provide funding for:

3.2.3.1. Lighthouse capital improvements (the terms of CCLF support and involvement for each improvement will be contained in a separate MOA).

3.2.3.2. Minor construction that cannot be funded through USAF sources.

3.2.3.3. Volunteer programs, Lighthouse-unique supplies, items to be sold in the gift shop and exhibit restoration that cannot be funded through USAF sources.

3.2.4. Promote the Lighthouse through advertisements brochures or other means as funding is available.

3.2.5. Coordinate and obtain approval from the 45 SW Commander or designee before:

3.2.5.1. Applying for grants or soliciting gifts for amounts greater than \$5,000.

3.2.5.2. Entering into any contracts or other agreements for the purpose of providing a source of revenue to support the Lighthouse.

3.2.5.3. Taking any action that will obligate the Lighthouse or the 45 SW Commander to either current or future actions or financial burdens.

3.2.6. The CCLF will conduct its activities in accordance with this MOA and will refrain from doing anything that could reflect poorly on the USAF, the 45 SW or the Lighthouse.

3.2.7. The CCLF will obtain liability insurance, unless waived, in accordance with API 34-223.

4. PERSONNEL: Supplier and Receiver are responsible for all costs of its personnel, including pay and benefits, support, and travel. Supplier and Receiver are responsible for supervision and management of its personnel.

#### 5. GENERAL PROVISIONS:

5.1. POINTS OF CONTACT: The following points of contact (POC) will be used by the Parties to communicate in the implementation of this MOA. The Supplier and Receiver may change its point of contact upon reasonable notice to the other.

5.1.1. For the Supplier

5.1.1.1. Support Agreement Manager (321) 494-4338.

5.2.1. For the Receiver

5.2.1. Primary POC: President (321) 750-7227

5.2.2. Alternate POC: VPresident (321) 795-6006

5.2. CORRESPONDENCE: All correspondence to be sent and notices to be given pursuant to this MOA will be addressed, if to Supplier, to

5.2.1. 970 South Patrick Drive Building 820, Patrick AFB FL 32925

and, if to the Receiver, to

5.2.2. P.O. Box 1978, Cape Canaveral FL 32920

5.3. REVIEW OF AGREEMENT: This MOA will be reviewed annually on or around the anniversary of its effective date for financial impacts and triennially in its entirety. It shall also be reviewed whenever changing conditions or circumstances may require changes or development of a new agreement. Changes may be made at any time by mutual agreement. Changes shall be noted and initialed on the existing document or set forth in a signed memorandum that shall be attached to the existing agreement.

5.4 MODIFICATION OF AGREEMENT: This MOA may only be modified by the written agreement of the Supplier or Receiver, duly signed by their authorized representatives.

5.5 DISPUTES: Any disputes relating to this MOA will, subject to any applicable law, Executive Order, Directive, or Instruction, be resolved by consultation between the Supplier and the Receiver, or in accordance with DoDI 4000.19.

5.6. TERMINATION OF AGREEMENT: This MOA may be terminated by either the Supplier or Receiver by giving at least 180 days written notice to the other. The MOA may also be terminated at any time upon the mutual written consent of the Supplier and Receiver.



5.7. TRANSFERABILITY: This Agreement is not transferable except with the written consent of the Supplier and Receiver.

5.8. ENTIRE AGREEMENT: It is expressly understood and agreed that this MOA embodies the entire agreement between the Supplier and Receiver regarding the MOA's subject matter.

5.9. EFFECTIVE DATE: This MOA takes effect beginning on the day after the Supplier signs.

5.10. EXPIRATION DATE: Upon signature by the Supplier Approving Authority as the final signatory to the support agreement, an expiration date will be added to this support agreement. This expiration date will be a date certain that is eight years and 364 days from the approval date. This Agreement expires on

AGREED:

For the Supplier



DOUGLAS A. SCHIESS  
Brigadier General, USAF  
Commander, 45th Space Wing

1 Oct 2019  
(Date)

For the Receiver



JAMES W. UNDERWOOD  
Rear Admiral, USCG (Ret)  
President, CCLF

8/23/2019  
(Date)

# Cape Canaveral Lighthouse Foundation

## Statement of Financial Position

As of June 30, 2024

	TOTAL
<b>ASSETS</b>	
Current Assets	
Bank Accounts	
Building Fund Money Market Account	152,968.11
Corporate Contributions	-78.84
DO NOT USE, DUPLICATE, PNC- Gift Shop	0.00
JON Account	2,903.27
Outfitting Certificate of Deposit	71,375.47
PayPal	1,073.22
Petty Cash	100.00
PNC Gift Shop	50,380.89
PNC-Building Fund	0.00
PNC-Operating 2595	84,565.79
Reserve Account / Keeper's Clos	0.00
<b>Total Bank Accounts</b>	<b>\$363,287.91</b>
Accounts Receivable	
Accounts Receivable	0.00
<b>Total Accounts Receivable</b>	<b>\$0.00</b>
Other Current Assets	
Grant Receivable	0.00
In Kind Donations	568.57
Inventory Asset	19,623.52
Undeposited Funds	0.00
<b>Total Other Current Assets</b>	<b>\$20,192.09</b>
<b>Total Current Assets</b>	<b>\$383,480.00</b>
Fixed Assets	
Accumulataed Depreciation	-79,705.00
Furniture	6,750.00
Inventory	0.00
Land Improvements	22,850.00
Museum Building	847,140.66
Website	3,800.00
<b>Total Fixed Assets</b>	<b>\$800,835.66</b>
Other Assets	
Keepers' Cottages Construction	0.00
Security Deposit	250.00
<b>Total Other Assets</b>	<b>\$250.00</b>
<b>TOTAL ASSETS</b>	<b>\$1,184,565.66</b>

# Cape Canaveral Lighthouse Foundation

## Statement of Financial Position

As of June 30, 2024

	TOTAL
<b>LIABILITIES AND EQUITY</b>	
Liabilities	
Current Liabilities	
Credit Cards	
PNC Credit Card	0.00
<b>Total Credit Cards</b>	<b>\$0.00</b>
Other Current Liabilities	
Grant Reserve	0.00
Sod/Walkway	0.00
Trailer/Funds/Donations	0.00
<b>Total Other Current Liabilities</b>	<b>\$0.00</b>
<b>Total Current Liabilities</b>	<b>\$0.00</b>
<b>Total Liabilities</b>	<b>\$0.00</b>
Equity	
Opening Balance Equity	0.00
Temp Res Net Assets Sod	0.00
Temp Res Net Assets Trailer	0.00
Temporary Restricted Net Assets	0.00
Unrestricted Net Assets	1,169,911.19
Net Revenue	14,654.47
<b>Total Equity</b>	<b>\$1,184,565.66</b>
<b>TOTAL LIABILITIES AND EQUITY</b>	<b>\$1,184,565.66</b>

# Premium Business Money Market

PNC Bank



For the Period 05/01/2024 to 05/31/2024

Primary Account Number: [REDACTED]

Page 1 of 1

Number of enclosures: 0

CAPE CANAVERAL LIGHTHOUSE  
SAVINGS ACCOUNT  
2420 SYKES CREEK DR  
MERRITT IS FL 32953-2908

For 24-hour banking sign on to  
 PNC Bank Online Banking on pnc.com  
FREE Online Bill Pay

For customer service call 1-877-BUS-BNKG  
PNC accepts Telecommunications Relay Service (TRS) calls.  
Para servicio en español, 1-877-BUS-BNKG

## Building Fund Proof

**Moving?** Please contact your local branch

Write to: Customer Service  
PO Box 609  
Pittsburgh, PA 15230-9738  
 Visit us at PNC.com/smallbusiness

### Premium Business Money Market Summary

Account number: [REDACTED]

Cape Canaveral Lighthouse  
Savings Account

#### Balance Summary

Beginning balance	Deposits and other additions	Checks and other deductions	Ending balance
151,488.14	504.26	.00	151,992.40
Average ledger balance	Average collected balance		
151,504.40	151,504.40		

#### Interest Summary

Annual Percentage Yield Earned (APYE)	Number of days in interest period	Average collected balance for APYE	Interest paid this period	Interest paid year-to-date
4.00	31	151,504.40	504.26	1,992.40

#### Deposits and Other Additions

Description	Items	Amount
Other Additions	1	504.26
Total	1	504.26

#### Checks and Other Deductions

Description	Items	Amount
Total	0	.00

#### Daily Balance

Date	Ledger balance	Date	Ledger balance
05/01	151,488.14	05/31	151,992.40

#### Activity Detail

##### Deposits and Other Additions

##### Other Additions

Date posted	Amount	Transaction description	Reference number
05/31	504.26	Interest Payment	I-GEN124053100094799

#### Detail of Services Used During Current Period

Note: The total charge for the following services will be posted to your account on 06/03/2024 and will appear on your next statement as a single line item entitled Service Charge Period Ending 05/31/2024.

Description	Volume	Amount	Requirements Met
Account Maintenance Charge		.00	
Total For Services Used This Period		.00	
Total Service Charge		.00	



Outfitting Fund Proof - \$50,000 approved to move to Building Fund

Privacy Security Sign Off  
Last Sign On: Tuesday June 11 2024 at 4:07 p.m.  
[Customer Profile](#)

- My Accounts
- Transfer Funds
- Pay Bills
- Alerts
- Business Tools
- Customer Service
- My Offers
- Summary
- Account Activity

Account Activity

Certificate Of Deposit  Balance: \$71,094.62

Summary [Edit Account Nickname](#)

Account Address		CD information	
2420 SYKES CREEK DR MERRITT ISLAND , FL 32953 - 2908		<a href="#">Edit</a>	<div><div>Maturity Date:</div><div>Interest Rate:</div><div>Current Balance:</div><div>Term:</div><div>Issue Date:</div></div> <div><div>09/26/2024</div><div>4.66 %</div><div>\$71,094.62</div><div>8 MONTHS</div><div>01/26/2024</div></div>

Account Summary					
Interest Paid		Latest Interest		Interest Information	
Last Year	to Date	Paid Date	Paid Amount	Interest Frequency	Interest Method
\$0.00	\$1,094.62	05/26/2024	\$270.76	monthly from issue	Credit CD



# Cape Canaveral Lighthouse Foundation

## Statement of Activity

January - December 2023

	TOTAL
Revenue	
Brick Campaign Income	
Brick Sales	3,808.56
<b>Total Brick Campaign Income</b>	<b>3,808.56</b>
Direct Public Support	2,938.00
Board Members Support	57.49
Corporate Contributions	3,102.94
Donations Boxes	1,607.83
In Kind Income	568.57
Individ, Business Contributions	3,052.92
<b>Total Direct Public Support</b>	<b>11,327.75</b>
Fundraising Income	3,230.00
Fresnel Lense	3,755.51
Marathon	3,328.62
Parade of Homes	752.50
Raffle Tickets	14,600.00
<b>Total Fundraising Income</b>	<b>25,666.63</b>
Gift Shop Income ( K Closet)	
Donations to Keeper's Closet	27.71
Sales at Keeper's Closet	38,246.65
<b>Total Gift Shop Income ( K Closet)</b>	<b>38,274.36</b>
Membership Income/Dues	24,761.23
Museum Income	
Museum Grants	22,850.00
<b>Total Museum Income</b>	<b>22,850.00</b>
Services	-300.00
Sponsorship	24,250.00
Uncategorized Income	2,310.00
<b>Total Revenue</b>	<b>\$152,948.53</b>
<b>GROSS PROFIT</b>	<b>\$152,948.53</b>
Expenditures	
Brick Campaign Expenses	
Brick Campaign Bank Fees	44.04
Misc Brick Walkway Expenses	2,078.43
PayPal Fees for Bricks	20.28
<b>Total Brick Campaign Expenses</b>	<b>2,142.75</b>
Contract Services	
Accounting Fees	3,933.00
<b>Total Contract Services</b>	<b>3,933.00</b>
Decendants Day	560.81



# Cape Canaveral Lighthouse Foundation

## Statement of Activity

January - December 2023

	TOTAL
Fundraising Expense	520.83
Fresnel Lense	368.25
Marathon	1,111.25
<b>Total Fundraising Expense</b>	<b>2,000.33</b>
Gift Shop Expenses	756.05
Bank Fees	25.00
Inventory Purchases	17,658.20
Sales Tax	3,198.47
Square Fees	52.65
Supplies	398.51
<b>Total Gift Shop Expenses</b>	<b>22,088.88</b>
JON Acct Expenses (labor, etc.)	-20.93
Membership Expenses	2,531.30
PayPal fees for Memberships	239.63
<b>Total Membership Expenses</b>	<b>2,770.93</b>
Museum	3,629.42
Museum Expenses (K Cottage)	3,782.09
Museum Exp-Prof Fees(K Cottage)	17,750.00
<b>Total Museum Expenses (K Cottage)</b>	<b>21,532.09</b>
Operating Expenses	383.11
Brochures	719.97
Business Registration Fees	178.00
Dues and Subscriptions	307.00
Insurance	6,484.04
IT Related	1,482.26
Lighthouse Supplies	3,589.52
Office Supplies	86.60
Operating Account Bank Fees	5.00
PayPal Fee Sponsorship	3.48
Postage	429.75
Printing and Supplies	75.00
Rent Expense	982.56
Repairs and Maintenance	4,569.82
<b>Total Operating Expenses</b>	<b>19,296.11</b>
Other Types of Expenses	
Memberships and Dues	385.00
<b>Total Other Types of Expenses</b>	<b>385.00</b>
Promotional Events	
Advertising	656.75
<b>Total Promotional Events</b>	<b>656.75</b>
Uncategorized Expense	227.78

# Cape Canaveral Lighthouse Foundation

## Statement of Activity

January - December 2023

	TOTAL
Volunteer Expense	
Volunteer Badges	8.50
Volunteer Lunch Expenses	1,315.00
Volunteer Polo Shirts	871.00
<b>Total Volunteer Expense</b>	<b>2,194.50</b>
<b>Total Expenditures</b>	<b>\$81,397.42</b>
NET OPERATING REVENUE	<b>\$71,551.11</b>
Other Expenditures	
Reconciliation Discrepancies-1	135.00
<b>Total Other Expenditures</b>	<b>\$135.00</b>
NET OTHER REVENUE	<b>\$ -135.00</b>
NET REVENUE	<b>\$71,416.11</b>

## **CCLF Phase 2 Projected Revenue and Expenses notes**

This information is provided to facilitate understanding of the projected revenue and expenses following project completion

While the TDO provided an out-of-county attendance estimate of 6001 for 2022, Downs and St. Germain estimated 9,500 out-of-county attendees in 2023, which is in line with the increase in tourism we saw in 2023 over 2022. The report also states that 52% of our visitors were out-of-county, with 48% in-county. That yields 8,769 in-county visitors, for a total of 18,269 visitors in 2023, our baseline year.

CCLF's fiscal year is January through December. The baseline financial information is from the last completed year – 2023. The Projected Income and Expenses worksheet is for January through December 2026, following project completion in December 2025.

### **Projected Annual Operating Income and Expenses Worksheet** **Capital Facilities Application - Attachment #1**

#### **Facility or Project Name: 2023 actuals baseline**

<b><u>Annual Operating Income</u></b>	<b><u>Annual Operating Income in Dollars</u></b>
<b><u>(Describe Revenue Source)</u></b>	<b><u>(Estimate of Income)</u></b>
Brick Sales	\$3,809
Membership	\$24,761
Gift Shop Sales	\$38,274
Corporate/Public Donations	\$11,328
Sponsorships	\$24,250
Fundraisers	\$25,667
Grants	\$22,850
Misc	\$2,000
	\$0
<b>Total Annual Operating Income</b>	<b>\$152,939</b>

<b><u>Annual Operating Expenses</u></b>	<b><u>Annual Operating Expense in Dollars</u></b>
<b><u>(Describe Expense)</u></b>	<b><u>(Estimate of Expenses)</u></b>
Brick Expenses	\$2,143
Membership Expenses	\$2,771
Gift Shop Expenses	\$22,089
Fundraising Expenses	\$2,000
Operating Expenses	\$24,248
Insurance	\$6,465
Professional Services	\$21,683
	\$0
<b>Total Annual Operating Expenses</b>	<b>\$81,399</b>

<b>Net Operating Profit/(Loss)</b>	<b>\$71,540</b>
------------------------------------	-----------------

The ROI study projects 15% growth in attendance the first year after opening the new cottages (2026) and 5% per year thereafter. We carried that 15% growth throughout all revenue and expense items directly impacted by increased attendance for the Projected Revenue and Expenses for 2026. Although the report also estimated a 5% increase each year in 2024 and 2025, prior to project completion, we chose to base the 2026 numbers directly on the 2023 numbers rather than anticipate any growth in the two intervening years. Therefore our income and expenses directly related to attendance are likely more conservative than will actually occur, but they are in proportion to each other.

Captured below is information that may be useful in understanding CCLF financial operations and the Projected Revenue and Expenses submitted with this application.

1. CCLF is not permitted to charge admission fees and does not receive any income from the commercial tour providers.
2. Expected impact on revenue with two new cottages:
  - a. We only held one major fundraiser in 2023, but with 2024 going forward, we will do two, with expected income on each to average \$20K in 2024. With the increased visibility of the lighthouse with the new cottages, we expect a 15% increase in revenue from each fundraiser in 2026. Our fundraisers are specifically chosen for very low expenses and high return. This year, we are doing our 2<sup>nd</sup> Annual Christmas in July Party and Raffle, and our 4<sup>th</sup> fundraiser at the American Muscle Car Museum in November. Having done each of these before provides confidence in our estimates for the revenue expected.
  - b. With the new cottages and related marketing, we expect a 15% increase in attendance with the resulting increase in revenue for those items that increase when attendance increases, including brick sales, membership, and gift shop sales.
  - c. With increased visibility and attendance, we expect a 15% increase in sponsorships and donations.
  - d. We will decrease the amount expected in grants, focusing on grants from other sources, like the Florida Lighthouse Association and the Daughters of the American Revolution.
3. Expected impact on expenses with two new cottages:
  - a. Fundraising expenses will increase 100% over 2023 due to two fundraisers instead of one but should remain minimal.
  - b. Brick, Membership and Gift Shop expenses will increase by 15% to keep pace with the expected 15% increase on the related revenue side.
  - c. Operating Expenses:
    - i. Maintenance expenses will increase ~65%. Some maintenance costs are now incurred with the lighthouse and oil house, in addition to the museum and restrooms. Therefore, adding two cottages will not completely double the amount spent. In addition, there are several items included under Maintenance that are not driven by the number of buildings maintained.
    - ii. Museum expenses will increase to complete any remaining interpretive signage, though most exhibits and signage are scheduled to be ready by project completion in December 2025, using separate funds.
    - iii. Cleaning fees will increase ~10%. Currently, 90% of their work is cleaning the public restrooms and the staff restroom. They do not clean the lighthouse and only sweep the downstairs of the museum and gift shop. There will be no restroom facilities added with the new cottages, so anticipate only sweeping the floors in the new buildings. We currently pay them \$144/week. All other cleaning is done by volunteers, now and in the future.

- d. Property Insurance is currently listed in the financial statements under Operating Expenses. Property insurance will significantly increase with the addition of the two cottages. Current property insurance covers the museum/gift shop cottage and the restrooms building and is \$2,999 per year. We Estimate an additional \$4,000 to cover the new cottages. Liability, D&O and Fresnel lens insurance will remain relatively the same as current.
- e. Professional Services includes accounting fees and Museum Director fees. The Museum Director is paid as a contractor through LightShift Associates, LLC, rather than as CCLF staff. All other positions are filled by volunteers and expected to remain that way through 2026, with the exception of professional cleaning services under maintenance.
  - i. The Museum Director fee went from \$18,000 in 2023 to \$33,000 in 2024 but is projected to remain at that level through 2026.
  - ii. Accounting fees are anticipated to remain the same as 2023. Those costs included one-time tasks that will not recur, offsetting the increase in effort with two additional cottages.



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

06/24/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Herbie Wiles Insurance 400 N Ponce de Leon Blvd  St. Augustine FL 32084	<b>CONTACT NAME:</b> Skye Perrotto <b>PHONE (A/C, No, Ext):</b> (904) 829-2201 <b>FAX (A/C, No):</b> (904) 829-2020 <b>E-MAIL ADDRESS:</b> sperrotto@herbiwiles.com
<b>INSURED</b> Cape Canaveral Lighthouse Foundation Incorporated PO Box 1978  Cape Canaveral FL 32920-1978	<b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> SOUTHERN OWNERS INSURANCE COMPANY <b>INSURER B:</b> GREAT AMERICAN INSURANCE COMPANY <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>
	<b>NAIC #</b> 10190 16691

**COVERAGES** **CERTIFICATE NUMBER:** 24-25 Liab **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:			78621358	05/01/2024	05/01/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 Hired/Non-Owned Auto \$ 1,000,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below Y/N <input type="checkbox"/> N/A						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Directors and Officers			EPP4028987	06/27/2023	06/27/2024	Aggregate \$1,000,000 Deductible \$1,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  For Information Only	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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# EVIDENCE OF PROPERTY INSURANCE

DATE (MM/DD/YYYY)  
06/24/2024

THIS EVIDENCE OF PROPERTY INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE ADDITIONAL INTEREST NAMED BELOW. THIS EVIDENCE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS EVIDENCE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE ADDITIONAL INTEREST.

AGENCY Herbie Wiles Insurance 400 N Ponce de Leon Blvd  St. Augustine FL 32084	PHONE (A/C, No, Ext): (904) 829-2201	COMPANY  SCOTTSDALE INSURANCE COMPANY 4725 Piedmont Row Drive  Charlotte NC 28210
FAX (A/C, No): (904) 829-2020	E-MAIL ADDRESS: sperrotto@herbiwiles.com	
CODE:	SUB CODE:	
AGENCY CUSTOMER ID #: 00022116		
INSURED Cape Canaveral Lighthouse Foundation Incorporated PO Box 1978  Cape Canaveral FL 32920-1978	LOAN NUMBER	POLICY NUMBER CPS7894629
	EFFECTIVE DATE 11/08/2023	EXPIRATION DATE 11/08/2024
	CONTINUED UNTIL TERMINATED IF CHECKED <input type="checkbox"/>	
THIS REPLACES PRIOR EVIDENCE DATED:		

## PROPERTY INFORMATION

LOCATION/DESCRIPTION 180 W. Skid Strip Road , CAPE CANAVERA Loc# 00001/Bldg# 00001 See Overflow  FL 32920
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THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS EVIDENCE OF PROPERTY INSURANCE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COVERAGE INFORMATION		PERILS INSURED		BASIC		BROAD	<input checked="" type="checkbox"/> SPECIAL		
COVERAGE / PERILS / FORMS								AMOUNT OF INSURANCE	DEDUCTIBLE
Building, Replacement Cost, Special form								300,000	1,000
Business Personal Property, Replacement Cost, Special form								30,000	1,000
Wind/Hail Excluded									

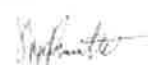
## REMARKS (Including Special Conditions)

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## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

## ADDITIONAL INTEREST

NAME AND ADDRESS   For Information Only	ADDITIONAL INSURED	LENDER'S LOSS PAYABLE	LOSS PAYEE
	MORTGAGEE		
	LOAN #		
	AUTHORIZED REPRESENTATIVE 		



## ADDITIONAL COVERAGES

Ref #	Description	Coverage Code	Form No.	Edition Date
1	00002, 180 W. Skid Strip Road ,, Building, 200,000	SPC		
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
200,000			1,000	Flat
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
1	00002, 180 W. Skid Strip Road ,, Wind/Hail Excluded			
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				

Ref #	Description	Coverage Code	Form No.	Edition Date
Limit 1	Limit 2	Limit 3	Deductible Amount	Deductible Type
Premium				



# **ATTACHMENT**

## **PROJECT PLAN, BENEFITS, SUPPORT**

- Project Plan pg. 2
- Cost Estimate from RZK Architects pg. 12
- Cost Estimate from Kinley Construction pg. 13
- CCLF Letter of Commitment pg. 16
- Project Benefits to Brevard County pg. 17
- Letters of Support pg. 24

# CCLF Phase 2 Project Overview

## PROJECT SUMMARY

The Cape Canaveral Lighthouse is owned by the US Space Force and on the property of the Cape Canaveral Space Force Station (CCSFS). This iconic structure has been standing for over 155 years as a symbol of the rich maritime history of the region and likely served as the first tourist destination in Brevard County (beginning in 1848). Lighthouse Keeper logs plus Titusville newspaper reports from the mid-to-late-1800s confirm visitors traveling long distances to visit the lighthouse – the tallest structure in the county – at a time when there were only a few thousand residents in the county. There are also advertisements to entice excursions to the lighthouse, which had to be done by a combination of boat, mule or horse-drawn carts, and walking for miles.

Phase 2 of this project will complete the reconstruction of the keepers' cottages to fully restore the Light Station to its historic footprint, not seen since 1966 when the Air Force destroyed the cottages originally built in the 1880s. Phase 1 (with TDC and State funding assistance) reconstructed the Head Lighthouse Keeper's Cottage in 2019 and provided public restrooms. This 2<sup>nd</sup> (and final) phase will reconstruct the 1st and 2nd Assistant Lighthouse Keepers' Cottages on their original locations on the 4.19-acre Light Station. The Space Force granted CCLF a license to use the property surrounding the lighthouse to reconstruct the historic buildings. The buildings are owned and operated by CCLF.

The 1<sup>st</sup> Assistant Lighthouse Keeper's Cottage (Replica Cottage) will be two stories with 2,761 square feet and will give visitors the opportunity to step back in time to see how the early keepers and other inhabitants of the Cape lived. They will also learn about the indigenous people who lived on the Cape until 1730. The 2<sup>nd</sup> Assistant Keeper's Cottage will be one story with 1,421 square feet and used as an experiential and learning center, with interactive and immersive exhibits and displays, aligning with growing tourism and museum trends to increase visitor engagement. Displays will include a 360-surround vision view from the top of the lighthouse of the nearby launch pads, Port Canaveral and KSC, a view that is no longer accessible to the public. They will also be able to assemble and disassemble models of the lighthouse to see how it is designed to be taken apart and rebuilt. This cottage will provide a venue for artifacts thousands of years old that the Space Force Archaeologist has had no means to allow the public to see for decades. The vision and plans for each cottage can be viewed in the Addendum below.

All the plans, designs and specifications for the Phase 2 buildings were completed during Phase 1, which also included the installation of the infrastructure and site work necessary to build the Phase 2 cottages. Phase 2 is ready to commence as soon as funding is received. The architectural drawings are at 90% and only need a current code compliance review. The Space Force approved Phase 2 at the time they approved Phase 1 and are fully supportive of Phase 2 being completed at this time.

Phase 2 Project costs have just been updated from the original Phase 1 estimates. Phase 2 building for both cottages is now estimated at \$978,708. CCLF has \$203,708 cash-in-hand for matching funds. This grant application requests the remaining \$775,000 to complete the project.

Once funding is received, we will use the remainder of 2024 to complete the code compliance review, conduct a competitive bid process to select the best contractor, and ensure all permits and approvals from the Space Force and Brevard County are in place. We will begin construction in early 2025, with project completion in the Fall and the new facilities outfitted and open in December 2025.

The Economic Impact Study from Downs and St. Germain estimates Brevard County will see an additional Total Economic Impact of over \$1M in 2026 because of the additional cottages and a 5-year impact of over \$3.3M. In addition, this project bolsters upcoming plans to significantly increase tourism in the Port / Cape areas with the completion of the Aquarium and the Space Force Experience. With the additional cottages, school field trips to the Lighthouse and Space Force Museum will be a viable and strong alternative to sending students to St. Augustine, drastically reducing the time and cost to the school district and parents.

CCLF successfully completed Phase 1 in 2019 on schedule and within cost. We stand ready with the experience and commitment of the same key personnel to achieve success in Phase 2, bringing lasting economic and cultural benefits to Brevard County and its citizens.

## **BACKGROUND and MISSION**

Since 2002, the nonprofit Cape Canaveral Lighthouse Foundation (CCLF) has supported what is now the Space Launch Delta 45 (SLD 45) in managing the US Space Force's lighthouse. As an active aid to navigation, the light itself is maintained by the US Coast Guard. The Foundation's mission is to help collect, preserve, restore, interpret and exhibit the Lighthouse and items that relate to the heritage of the Lighthouse mission, and to inform and educate the public on the important historical significance of the Lighthouse to Florida's Space Coast, the State of Florida and the United States. In fact, Cape Canaveral was selected over two other possible launch sites in 1950 in part because the Federal government already owned 826 acres surrounding the lighthouse that could be immediately designated for rocket launches. Like other branches of the federal government, the Space Force cannot solicit funds to help preserve the lighthouse, so nonprofit foundations are allowed to act on their behalf.

The lighthouse receives thousands of visitors every year and is a coveted destination among tourists and locals alike. Some people are drawn to lighthouses, and visiting this particular lighthouse is a sought-after accomplishment due to the extra challenges of access on a high-security military installation. It is also a draw because in one tour, they not only visit the lighthouse but are able to see and experience an up-close tour of the World's Premier Gateway to Space, as well as learn the history and visit historic sites of the US Space Program.

We work in partnership with the Cape Canaveral Space Force Museum to coordinate tour times, provide access to all our venues for tours, conduct educational tours jointly, and share museum management best practices.



Touring the Lighthouse

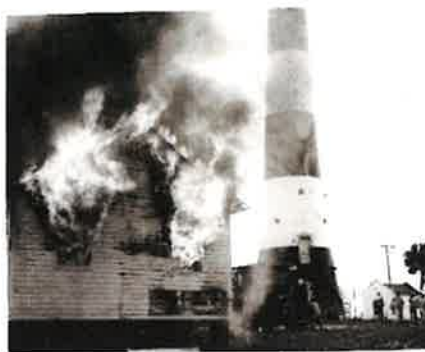


Touring Hangar C

The Cape Canaveral Light Station was originally composed of the lighthouse, oil house, and cottages for the three lighthouse keepers. Once the light was automated in 1960, there was no need for resident lighthouse keepers. The cottages were used for offices but fell into disrepair and were burned down by the Air Force in 1966. One of the main goals of CCLF has been to reconstruct those buildings to provide a true understanding of what keeping the Cape Canaveral Lighthouse was like and allow more room to share their history.



Light Station in 1910



Cottages Burned in 1966

In 2019, through CCLF fundraising efforts and monies received from the Brevard County Tourist Development Council (TDC) and the State of Florida, CCLF reconstructed the Head Lighthouse Keeper's Cottage on its original 1894 location and made it the museum and gift shop. The underlying infrastructure to support the Phase 2 cottages was also implemented at that time. CCLF is not allowed to charge for admission to the lighthouse given that it is Federal property and already "owned" by the taxpayers. CCLF is now seeking grants and other funding to reconstruct the remaining two cottages.



Light Station 1966-2019

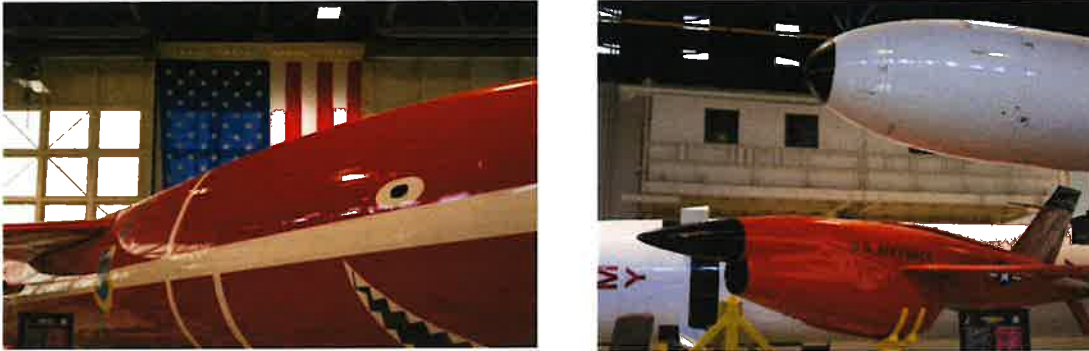


Light Station 2019-present

The Cape Canaveral Lighthouse is uniquely positioned to offer visitors both a view of our history and a glimpse of our future in one tour. The lighthouse is the oldest structure in Brevard County, still performing its intended mission. Built in 1868, there were only 1,216 residents of the entire county in the 1870 census. The Cape itself was particularly inhospitable. The last Indigenous People left the area in the 1730s, and European settlement did not begin until the late 1840s.



The lighthouse sits next to the oldest hangar on the Cape (Hangar C), which now serves as an Annex for the Cape Canaveral Space Force Museum. This historic building, which once housed an office for Wernher von Braun with a direct view of the lighthouse, is now filled with restored rockets and missiles from throughout America's space program. Early space pioneers, including von Braun, would climb to the top of the lighthouse to get the closest and best view of every launch. Tourists visit both the Lighthouse and Hangar C at the same stop.



Inside Hangar C, next to the Lighthouse

## PROJECT COSTS

Although not a competitive bid, we solicited an estimate from Kinley Construction to build the Phase 2 cottages. They are the same company who built the Phase 1 buildings and had also provided an estimate for the Phase 2 construction at that time. They updated their estimates to meet today's costs with construction costs being significantly impacted by inflation in recent years. We expect that the estimated cost may be reduced during a competitive bid process, but for the purpose of this grant request, we must assume the estimate to be accurate at this point. To the construction estimates from Kinley, we added \$18,600 for Architectural and design costs estimated now by our Phase 1 Architect, RZK.

The total cost to build the two cottages is estimated at \$978,708.

- Construction \$
- Architectural \$ 18,600
- Building Costs \$ 865,108 (includes Construction \$)
- Site Work \$ 95,000
- Furniture, Fixtures, etc. \$0

There is currently \$150K+ in the Building Fund. In addition, last year we allocated \$70K to an Outfitting Fund to complete the interiors (currently held in a CD maturing 9/26/2024). The board has voted to move \$50,000 of the Outfitting Fund to the Building Fund, for a total of \$200K available from these dedicated funds. With the interest earned in these accounts, CCLF commits to a total matching funds amount of \$203,087. See the Financial attachment for proof of match. With this match from CCLF available immediately, we are requesting \$775,000 from the TDC to complete the project.

We will use the matching funds on hand to pay the contractors monthly, then request reimbursement from the TDC for allowable expenses, also on a monthly basis. This method was used very successfully on Phase 1.

Please note that the funds being requested are for building construction, only. CCLF is absorbing staffing costs associated with project and building oversight.

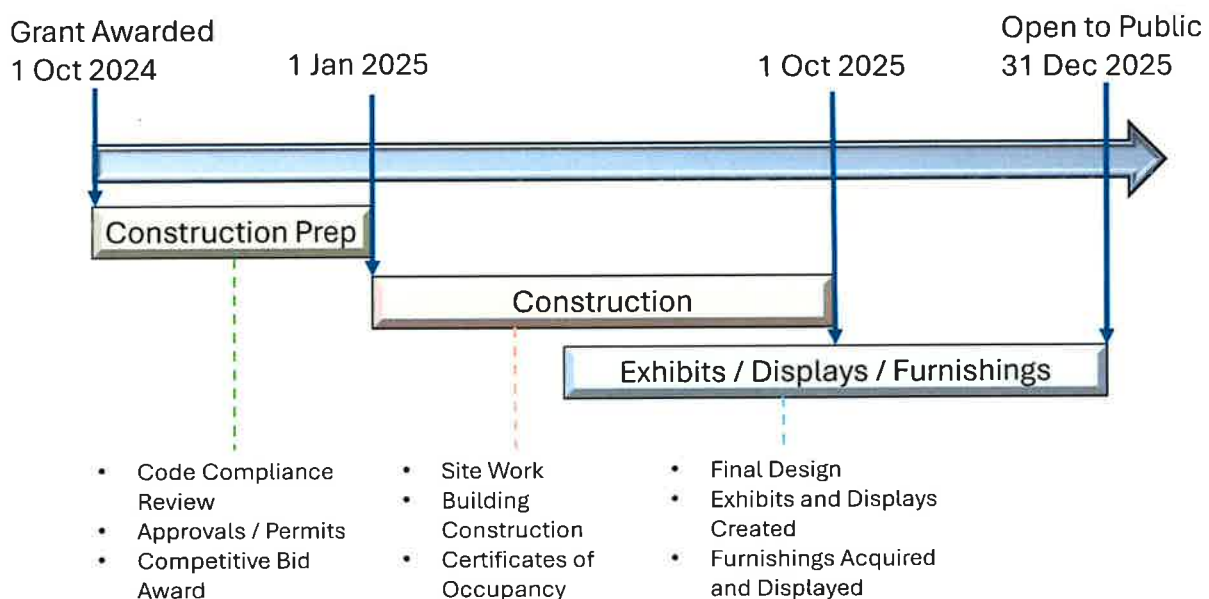
### **TIMELINE and READINESS**

All the plans and designs for the Phase 2 buildings were completed during Phase 1. In addition, Phase 1 also included the installation of the infrastructure and site work necessary to build the Phase 2 cottages. Phase 2 is ready to commence as soon as funding is received. The architectural drawings are at 90% and only need a current code compliance review (the relevant Phase 2 drawings and specifications are provided in attachments). The Space Force approved Phase 2 at the time they approved Phase 1 and are fully supportive of Phase 2 being completed at this time (the Space Force license agreement and concurrence to proceed with Phase 2 is provided in an attachment). The Space Force has a Form 332 approval process that ensure construction coordination on the Cape. This process will cover the specific permitting needed, though the overall permitting is already in place as part of the 14 June 2016 approval from the Space Force. We are very familiar with the 332 process, having used it in Phase 1 and for smaller projects since. Brevard County permits are not required since the Light Station is located on Federal property.

We have worked with the State Historic Preservation Office on methods to obtain a waiver to allow the public to view displays on the 2<sup>nd</sup> floor of the Replica Cottage and will formally request this, once funding is received.

If funding is available beginning 1 October 2024, we will begin immediately with the final architectural code compliance review in parallel with beginning a competitive bid process for construction. We will also obtain final 332 project approval from SLD 45 to begin construction. The goal is to have all these elements complete by December 2024. We anticipate breaking ground in January 2025 with construction complete by September 2025. Planning for and preparing the interior exhibits, displays and furnishings will commence in parallel with construction, and complete after the buildings have been certified for occupancy. Both cottages will be open to the public by December 2025.

### **CCLF Phase 2 Project Timeline**





CCLF has proven the ability to implement a project such as this by successfully completing Phase 1 within cost and on schedule, with the museum and gift shop opened to visitors December 19, 2019. Key personnel leading the Phase 1 effort will return for Phase 2. Hal Row was the construction liaison between CCLF and the contractor, ensuring the success of the build. He will again perform those duties for Phase 2. Becky Zingarelli was the Museum Director for Phase 1, designing the museum interior and working with CCLF volunteers to bring the museum to life. She will again be responsible for the design and implementation of the exhibits, displays and furnishings in both Phase 2 cottages. Rocky Johnson was president of the Foundation for Phase 1. His experience with Phase 1, and as a vice president with Ivey's Construction, will be utilized again, as needed.

This project supports the strategic initiatives of sustainability, conservation and technology on the Space Coast.

## **CONCLUSION**

Phase 2 is ready to begin immediately upon award of funding. Construction will begin in January of 2025, with the new cottages open to the public in December of 2025. Staff and volunteers are ready to convert the interiors of both buildings to meet the vision for their use, bringing an entirely new dimension to the lighthouse visit experience. CCLF has a proven record of accomplishment in achieving the project goals, with full expectations that the cost and schedule will once again be met, quickly opening a new chapter for visitors to the Cape Canaveral Lighthouse and bringing increased economic benefit to Brevard County.

## **Ready to Break Ground**



**New Lighthouse  
Experience Site**

**New Replica  
Cottage Site**

## **ADDENDUM - KEY EXCERPTS FROM COTTAGE VISION AND PLANS DOCUMENTS**

### **REPLICA COTTAGE**

#### **Vision:**

It is important to have a cohesive vision of what the space will be used for, the period to be depicted and the items to be used to make future interpretation easier and more impactful.

- The Replica Cottage will be the 1<sup>st</sup> Assistant Keeper's Cottage, nearly identical to the Head Keeper's Cottage which houses the museum and gift shop.
- The years to be depicted will cover the Clinton Honeywell years as Head Keeper (1904-1930). He became Head Keeper in 1904, married his wife that year and took up residence in the Head Keeper's cottage. They lived there until he retired in 1930.
- Lighthouse Keepers were somewhat more affluent than the typical Florida "Cracker" of the era, but not significantly. The styles were likely nice but plain.
- It's possible some items could have been handed down through the families so a few pieces dating to prior to 1904 may be considered.
- Downstairs all rooms will be furnished with period pieces interpreting the Honeywell era.
- Upstairs will be a museum space that provides information and interprets firstly the lives of the indigenous people who lived on the Cape for millennia and then the lives of the keepers and their families and other families who lived on the Cape. We would cover all eras: Up to 1730 for the indigenous people and 1848-1955 for the keepers and other settlers.

#### **Details:**

Below are some detailed approaches based on the above vision and the historical research done to date. Funding for the contents and displays is separate and will not be covered by the funds used to build the structure.

- Electricity: There was no electricity in the cottages until at least when the lighthouse was electrified circa 1931, so the Honeywell years were without. Electricity should be installed per modern building codes and modern lighting used to facilitate viewing the house, but guests should be told there was no electricity at the time. We should have period lamps on display in a few places.
- Plumbing: By the Honeywell era, there was likely running water facilitated by hand pumps to draw from the cistern. There was a small water tower that could have driven water into the cottage, controlled by faucets, but this likely did not occur until the 1950s. It's possible there was an Artesian well that allowed water to flow into the houses. Modern plumbing should be installed but may want to consider tapping off within the walls in the bathroom and kitchen, then having a dummy display of a hand pump without water actually running. In the future, if the building is repurposed, they can tap into the plumbing at that time.
- Fixtures: wherever possible, we should show period fixtures, including freestanding bathtub, sink, toilet, kitchen sink, etc., if we believe they existed in the Honeywell era. It's possible they did not and they still had outhouses. Modern fixtures should not be built into the cottage during construction. We need to determine the appropriate approach (outhouse or not) before finalizing.
- Breezeway: In the cottages during this period, there was a breezeway that ran the width of the cottage from the current staff restroom over to the corner windows. The two rooms in the museum were closed off to the breezeway. On the other side of the breezeway was the dining room, then the kitchen. The breezeway was completely open until they built the indoor bathroom at one end of the breezeway in 1894 when the cottage was moved. At that time they may have

just built the bathroom on one end and kept the rest of the breezeway open, or they may have enclosed it at that time. We may want to consider if we should have the area open or not. Breezeways were common to separate the main part of the house from the kitchen area to limit the spread of fire from the kitchen stoves.

- Room utilization downstairs: During the time the keepers lived in these two larger cottages, the room on the right as you come in was used as a living room, and the room on the left was used as a bedroom (they also kept their youngest children there). The room where the KC cash register is located was the dining room and the back room was the kitchen. We propose to furnish each of these rooms with period furniture matching their use.
- Room utilization upstairs: The keepers used the two rooms upstairs as bedrooms for their children. Rather than furnish them with period pieces, we propose to utilize that space to provide information on how people on the Cape lived before European Settlers and then from the time of the first lighthouse until the Air Force moved them out.
- Walls – Research needs to be done to determine the texture of the walls. They may have been horsehair plaster during the Honeywell era. We probably need smooth walls & ceilings.

## **LIGHTHOUSE EXPERIENCE COTTAGE**

### **Vision:**

The historically accurate reconstructed 2<sup>nd</sup> Assistant Keeper's Cottage will provide an interactive and immersive experience for visitors that also teaches about the lighthouse and keepers, the Fresnel lens, indigenous people on the Cape, early settlers and local industries, and the space program.

### **Building Details:**

Below are some detailed approaches based on the above vision.

- Electricity and fixtures: These will all be modern and should mirror the style used in the Museum. Additional electrical outlets may be required to more easily accommodate expected technology. All floor outlets should be completely recessed so as to not present a tripping hazard.
- Technology: The cottage should be wired for internet / wifi.
- Plumbing: The restroom should provide a large, deep sink and room for storage closets. No toilet is required or desired.
- Rooms:
  - All rooms other than the restroom should be empty, with no additional plumbing.
  - The walls should be plain drywall top to bottom, with no chair rail or vertical boards.
  - The floors should match the Museum.

### **Exhibits:**

Nearly all exhibits will be interactive or immersive. Funding for the exhibits is separate and will not be covered by the funds used to build the structure. Below are concepts for individual exhibits.

1. Surround view from the Top
  - a. Small interior immersive room (similar to the Wizard of Oz Museum)
  - b. Project all around the walls a surround view from the top of the lighthouse
  - c. Potentially add actual railing around the sides
  - d. Use USF Virtual Tour
  - e. Overlay in one appropriate area a movie of a launch as viewed from the top
  - f. Include sound and wind

2. Interactive physical model of the light station and moving the lighthouse – for children and adults
  - a. Large table model with steps around for kids to stand on (vs so low as to be uncomfortable for adults)
  - b. Static elements: original lighthouse location, ocean, beach, jetties, tramway, resupply pier, current light station footprint with only the restrooms and 2<sup>nd</sup> Assistant Keeper's Cottage static, Oil House with movable front door and removable roof, Hangar C, launch pads, Burnham orange groves along river, Port Canaveral.
  - c. Moveable pieces: lighthouse tender, lighthouse oil and supplies, mule and cart along tramway, mule and wagon for supply runs, Iron Lighthouse pieces (marked with Arabic numerals), davit with block and tackle and hook to pick up oil cans, Brick Lighthouse pieces, Head Lighthouse Keeper's Cottage, 1<sup>st</sup> Assistant Lighthouse Keeper's Cottage, rockets, Ais village and people, cruise ships, fishing boats, Coast Guard boat, submarine.
  - d. Activities:
    - i. Take apart the lighthouse and move it from the beach to its current location along the tramway and rebuild it (not too many pieces and not very small – prevent choking hazard and walking away with it).
    - ii. Take the mule and wagon to the pier to get supplies from the tender, then stow them in the oil house
    - iii. Take oil cans out of oil house and use block and tackle to raise to 3<sup>rd</sup> floor and swing inside
    - iv. Move the Ais village and people from the Cape to the mainland for the winter
    - v. Launch rockets
3. Photo Touchscreens along walls
  - a. Put photos in categories they can choose, then can scroll through each.
  - b. Categories: Lighthouse, light station, Keepers and families, other Cape pioneer families, lighthouse in launch photos.
  - c. Include videos of launches with the lighthouse in them and also land backs.
4. Fresnel lens model
  - a. Have a lighted, rotating Fresnel lens that allows them to change the characteristics and see the results.
5. Rotating display of Space Force archaeological artifacts
  - a. One or more lockable display cases
  - b. Labeled artifacts including natural and human-created by the indigenous peoples.

**From:** John Zwick <[John.Zwick@architectsrzk.com](mailto:John.Zwick@architectsrzk.com)>

**Date:** July 1, 2024 at 10:50:05 AM EDT

**To:** Rocky Johnson <[rjohnson@iveycon.org](mailto:rjohnson@iveycon.org)>

**Cc:** Kelsey Zwick <[Kelsey.Zwick@architectsrzk.com](mailto:Kelsey.Zwick@architectsrzk.com)>

**Subject: P13XX Cape Canaveral Lighthouse Foundation (Residential Cottage & Education Building) - Design & CA Fees**

**Rocky:**

Attached are plans for each facility The Residential House and Educational Building.

The following SWAG is based upon the following general involvement:

1. Verify code compliance for life safety, mechanical, electrical, and structural relative to the (2023) 8<sup>th</sup> ed. of the FBC and FFPC.
2. Respond to any
3. Verify material availability.
4. Converting floor construction to a CMU stem wall and raised concrete floor slab set on fill (without a crawl space).
5. Include the revisions of that changed by Kinley as we know them.
6. Limited site visits but review of any submittals.

## **Fees**

### **Residential Cottage:**

Design Mods. & Permitting: \$7,700.00

Construction Period: \$2,300.00

### **Educational Cottage:**

Design Mods. & Permitting: \$6,300.00

Construction Period: \$2,300.00

**John C. Zwick, LEED AP**

**Architect AR0009527**

**[www.ARCHITECTSRZK.com](http://www.ARCHITECTSRZK.com)**



Kinley FLA, LLC  
190 Fortenberry Road, Suite 107  
Merritt Island, Florida 32952  
TEL: (321) 639-4400 FAX: (321) 639-4408  
[www.kinleyfl.com](http://www.kinleyfl.com)

## **Construction Proposal for:**

**Cape Canaveral Lighthouse Keeper's Cottages – Phase 2**  
Cape Canaveral Lighthouse  
Lighthouse Rd.  
Cape Canaveral, FL 32920

### **Cape Canaveral Lighthouse Foundation**

Attn: Rocky Johnson  
600 Florida Ave.  
Suite 202  
Cocoa, FL 32922

### **Kinley's scope of work:**

#### **Sitework**

- Silt fence
- Tree protection
- Temporary construction fence (if needed)
- Temporary facilities
- Temporary electric
- Dumpsters
- Clearing and demo
- Sidewalk base and Pavers
- Shell Walkway
- Stabilized Parking
- Pond structures and spillways
- Final grade and sod
- Landscaping
- Perimeter fence
- Sewer and water to existing services
- Storm drains and structures
- Site Electric

#### **Education Center**

- Foundations
- Framing
- Windows and doors
- Ramps and railings
- Exterior finishes as per plans
- Interior finishes as per plans

- Electric, Plumbing, Air-conditioning as per plans

#### **Replica Cottage**

- Foundations
- Framing
- Windows and doors
- Ramps and railings
- Exterior finishes as per plans
- Interior finishes as per plans
- Electric, Plumbing, Air-conditioning as per plans

#### **Allowances:**

Surveys	\$7,500.00
Sitework	\$95,000.00
Cabinetry/Counter Tops	\$5,000.00
HVAC	\$30,000.00
Plumbing	\$32,000.00

**ALLOWANCES:** Allowances for the project that are included in the Lump Sum contract price include a total of \$ **169,500.00**. Payment for work designated in the Agreement as ALLOWANCE work has been initially factored into the Lump Sum Price and Payment Schedule set forth in this Agreement. If the final amount of the ALLOWANCE work exceeds the line-item ALLOWANCE amount in the Agreement, the difference between the final amount and the line-item ALLOWANCE amount stated in the Agreement will be treated as Additional Work and is subject to Contractor's profit and overhead at the rate of 10%. If the final amount of the ALLOWANCE work is less than the ALLOWANCE line-item amount listed in the Agreement, a credit will be issued to Owner after all billings related to this particular line-item ALLOWANCE work have been received by Contractor. This credit will be applied toward the contractor's next invoice on the project. The contractor and the owner shall both document the cost of all Allowance items with receipts and invoices.

#### **EXCLUDES:**

- Office Trailer
- Davis Bacon Wages
- Permit & Design Fees
- Work outside of normal business hours
- Unforeseen Conditions
- Any labor or equipment necessary to unload, install or re-locate any owner-provided/owned materials, equipment & furniture, unless listed.
- Special Testing & Inspection Fees
- Repairs to existing conditions
- Hazardous material abatement
- Any costs associated with the midden area
- Bonding
- Builder's Risk Insurance
- Any work outside the specifically mentioned scope

This scope of work will be performed for a lump sum of:

**Nine Hundred Sixty Thousand One Hundred Eight Dollars and 00/100 (\$ 960,108.00)**

We appreciate the opportunity to provide you with this proposal, and please contact us if you have any questions at all.



Sincerely,

**Mickey Ellison**

Business Development

Office: (321) 639-4400

Cell: (321) 403-9120

[mellison@kinleyfl.com](mailto:mellison@kinleyfl.com)

*Proposal valid for 30 days.*



**Cape Canaveral Lighthouse Foundation, Inc**  
**P.O. Box 1978**  
**Cape Canaveral, Florida 32920**  
**321-351-5052**

### **Officers**

Ronald L. Ecker  
President

Shane Smith  
1<sup>st</sup> Vice President

Todd McDowell  
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Michele Rohmann

Dixie Sansom

RADM James Underwood

Laura Lee Walko

Maj Gen B. Edwin Wilson

Lisa Wilson

The Cape Canaveral Lighthouse Foundation is seeking funds to complete the restoration of the Cape Canaveral Light Station, restoring for the benefit of current and future generations what was likely the first tourist attraction in Brevard County.

Phase 1 built the Head Keeper's Cottage and public restrooms, opening the museum and gift shop to the public in 2019, through funding provided by the Brevard Tourist Development Council and the State of Florida. Phase 2 will complete the reconstruction by adding the 1<sup>st</sup> Assistant Keeper's Cottage as an interpretation of how the early settlers in Brevard lived in the late 1800s and the 2<sup>nd</sup> Assist Keeper's Cottage which will allow visitors to immerse themselves in interactive and multi-sensory experiences.

With current cost estimates from the Phase 1 contractor and architect totaling \$978,708, the Foundation is seeking \$775,000 from the TDC to augment our \$200,000+ in matching funds. With this funding, the Board of Directors is committed to making Phase 2 a reality and open to the public by December 2025.

We have proven our ability to accomplish this goal by having completed Phase 1 on schedule and within cost and look forward to a similar partnership with the TDC in completing the restoration of this iconic tourist destination.

Ron Ecker, President  
Cape Canaveral Lighthouse Foundation  
[CcLf-president@canaveralight.org](mailto:CcLf-president@canaveralight.org)  
321-591-9844

[www.canaveralight.org](http://www.canaveralight.org)

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Cape Canaveral Lighthouse Foundation Incorporated  
Registration Number : CH36475« 1-800-HELP-FLA (435-7352) [www.FloridaConsumerHelp](http://www.FloridaConsumerHelp)

## CCLF Phase 2 Benefits to Brevard County

The Cape Canaveral Lighthouse is a sought-after destination for families, lighthouse enthusiasts, and history buffs. In fact, it was likely one of the first tourist destinations in Brevard County, with 1883 newspaper reports of group excursions lasting days. It is also an increasingly popular destination for school groups and organizations that are interested in history and maritime culture. Because of its location in the middle of the World's Premier Gateway to Space, it is also seen and appreciated by visitors who come to the area for space-related activities and history. Traditionally, just over half the visitors to the lighthouse are from outside Brevard County. Due to security constraints, this is a coveted experience that not everyone is able to enjoy but the Cape Canaveral Lighthouse Foundation (CCLF) has been providing consistently increased access for the public.



1868 Lighthouse Meets the Space Age

Prior to Phase 1 during which the Museum and Gift Shop were constructed, very few tours were available. The number of tours and visitors has skyrocketed in the intervening years, with another tremendous increase anticipated with the completion of the Phase 2 cottages.

For the last several years and into the foreseeable future, while the Space Force sponsors government visitors and special groups, the only way the general public can participate in this special experience is through tours provided by the Cape Canaveral Lighthouse Foundation. We partner with the Space Force Museum to coordinate opening times for commercial and group tours, Space Force tours and special events.

Individual public tours (of varying lengths and days) can be booked for a fee through our commercial tour provider, Canaveral Tours. We are in the process of standing up a second commercial tour provider, Space Shuttle Excursions, to meet the growing demand already seen from the public and leverage their connections with the cruise industry. This also positions us well to handle the anticipated growth in tourism when the Phase 2 cottages are open to the public.

In addition to the commercial tours, free group tours via CCLF volunteers, are provided for community or civic groups of any type. Education tours with targeted teaching stations are offered for public, charter, private and home schools. CCLF also supports a large number of out-of-county and in-county visitors brought on Station by the Space Force, NASA and commercial launch providers.

For all types of tours, there are security restrictions requiring visitor identification information to be submitted to Space Force Security two days to a week ahead, but we have developed procedures that make this process seamless for visitors and allow us to increase the number of visitors easily. Tours are currently available five days a week on a regular schedule, with the ability to add more tours, as demand

increases. Since the public cannot just drive out to the lighthouse, unlike most other venues, we open the lighthouse to meet the tour schedule, rather than have standing public hours. This schedule includes an Open House from 10:00 – 1:00 every Wednesday for badged personnel who work on the Cape or Patrick Space Force Base to be able to visit on their own.



Commercial Tours



Group Tours

CCLF is a founding and active member of the Museums of Brevard (MOB) and leverages the group's ability to market and advertise all members to a wider audience than otherwise able. We also share museum best practices and trade equipment and furniture no longer needed at a member's location. We participate in the annual MOB Holiday Tour of Historic Homes. We have just begun participating in the new MOB-sponsored Education and Citizenship Armed Forces Coalition of the Space Coast (ECAC) where we provide special access to the lighthouse and Space Force Museum for all Brevard County students.

With launch pads all around it, the lighthouse sits as an oasis amidst the technology of the future. Many visitors have commented on how you can "feel" the peace and serenity of the light station, only to look up and see the Blue Origin launch complex 0.8 miles away, where astronauts will someday launch to the Moon. CCLF shares this truly unique experience with the public. The addition of the two cottages will make this an even more compelling adventure, increasing tourism commensurately.



Falcon 9 Launch



Time Lapse of Falcon Heavy  
Launch and dual booster return  
2 miles from the lighthouse

The ability of the lighthouse to provide more tourism opportunities will increase significantly in the next 2-5 years with the other major tourism additions coming to the Port and Cape. The completion of the Light Station is our contribution to making this area a significant nexus for tourism. The Brevard Zoo Aquarium project will not only provide an amazing new opportunity for learning and appreciation of our marine environment for Brevard County residents but will significantly increase the draw for out-of-county visitors in the Port and Cape area.

Another major step forward for tourism will come with the completion of the Cape Canaveral Space Force Museum's new Space Force Experience, to be built on publicly accessible land just outside the south gate to Cape Canaveral Space Force Station (CCSFS). This will allow the public to easily visit rather than have to rely on the current method of obtaining clearance to be escorted onto the CCSFS. They will be following the model established by Delaware North at Kennedy Space Center (KSC) where the public can drive to the KSC Visitors Complex just outside KSC's gate, enjoy the attractions there and be bused onto KSC to view the historic sites and current space activities, while maintaining security protocols. From the Space Force Experience building, visitors will be regularly bused onto CCSFS, with stops at the lighthouse, Hangar C and the Space Force Museum, as well as viewing the historic launch pads and glimpsing current launch activities at the busiest spaceport in the world.

CCLF initiated discussions with Keith Winsten about the Aquarium's plans, and Jamie Draper about the Space Force's plans, and how we might partner together with facilitating transportation, ticket sales, etc., to build this as a joint destination. With more to see and do at the lighthouse, on the Cape, and at the Aquarium, more visitors are likely to opt to remain in Brevard County longer to take advantage of these new offerings. Having the Light Station completed by then will allow us to play a role in helping entice visitors to stay longer and spend more money in Brevard County.

In addition to increasing out-of-county tourism with the commensurate economic impact, the addition of the two cottages providing more historic context and more hands-on learning opportunities will be a significant benefit to all Brevard County residents, especially students. Currently, students study state history in 4<sup>th</sup> and 5<sup>th</sup> grades. Those schools that could afford to have sent these classes to St. Augustine to visit the lighthouse there along with the Spanish settlement. A significant investment by each school and student is required in order to cover the cost of transportation and admission fees, on top of travel time. This cost also prevents most Title 1 schools from participating.



Public School Tours



Home School Tours



With the two new cottages, we could provide a similar, though likely more relevant, learning experience for Space Coast students at a fraction of the cost. Admission to all our venues is free and the investment in time is decreased by at least 4 hours. Transportation costs would also be drastically reduced, allowing the use of school buses in off hours rather than charter buses. Students would still learn all about lighthouses and maritime history but would also learn space history and be exposed to STEM learning relative to the mechanics of space launches and the physics of bending light, utilized in lighthouses. The Replica Cottage would teach them what it was like living in Brevard County over 100 years ago. The Lighthouse Experience Cottage would provide hands-on learning and STEM education, including the engineering design of how the lighthouse was built to be taken apart and moved in pieces, then reassembled by the numbers, as was done in 1894. The Lighthouse and Space Museum field trip becomes a much more viable alternative for a major county school trip than having to go all the way to St. Augustine, especially for the Title 1 schools, and more relevant to Brevard County students growing up on the Space Coast.

In addition to the tours above, CCLF supports large event days by opening the Lighthouse and museum. Over 2,000 runners and spectators participated in the 2<sup>nd</sup> Space Force T-Minus 10-Miler run in December 2023. This annual event is expected to grow each year, commemorating the founding of the Space Force, attracting runners from around the country. The finish line is at the Lighthouse. Another large event day is the annual Cape Family Day sponsored by Space Launch Delta 45 (SLD 45). Military personnel and contractors are allowed to bring their families out to the Cape to see where everyone works and what's going on. Favorite destinations are the Lighthouse and Hangar C. In 2024, the lighthouse hosted an estimated 8,500 visitors that day.



2023 Space Force T-Minus 10-Miler  
2000+ runners



2024 Cape Family Day  
8,500 visitors

We will work toward the future while continuing to support and grow our core mission of providing access to and interpreting the Lighthouse. With the addition of the two new cottages, we are confident that we can increase the visibility and popularity of the Lighthouse, attract many more visitors to this growing cultural destination, and ultimately increase revenue to allow us to better preserve and protect this valuable historic site for decades to come.

## SUMMARY OF ECONOMIC IMPACTS TO BREVARD

CCLF contracted with the independent research firm, Downs & St. Germain Research to do the economic impact and return on investment analysis, as required by this TDC grant. Please see the attached report for full details.

## Economic Impacts Analysis Methodology

The report estimated the economic impacts to Brevard County from visitors to the Cape Canaveral Lighthouse for the last 12 months. They used surveys they designed and collected to identify the impact on future visits if the two additional cottages were built. These surveys were completed by visitors from the past year. The total number of out-of-county visitors in 2023 was estimated based on total attendance accumulated by CCLF and the Space Force, with a factor applied for out-of-county vs. in-county commensurate with the survey results. They also used the most recent Smith Travel Research data on hotel accommodations. They then applied the IMPLAN economic modeling system.

## Projected Impacts

The report captures baseline economic impact numbers for 2023 and extrapolates expected impacts for 2024 and 2025, before the cottages are completed. It then projects the anticipated economic impacts associated with an initial higher 15% increase in attendance for the first year following completion and leveling out to a smaller increase year over year for four years thereafter. We believe the 15% first year increase is reasonable but very conservative, as shown by the exponential growth we saw following Phase 1.

The table below captures the baseline numbers and calculates the projected additional growth in these economic indicators, based on the numbers provided in the report.

### Impact on Brevard County

IMPACT	2023 Base	2026 Increase Over 2025	Total Increase 2026-2030
<b>Attendance<sup>1</sup></b>			
<b>Out-of-County</b>	9,510	+1,570	+4,170
<b>In-County</b>	8,670	+1,430	+3,800
<b>Total</b>	18,170	+3,000	+7,970
<b>Room Nights<sup>1</sup></b>	9,050	+1,490	+3,970
<b>Jobs Supported</b>	45	+7	+19

<sup>1</sup>Assumes 5% increase in attendance, room nights and TDT from 2023 base in 2024 and 2025. Assumes 15% increase in 2026 and 5% each year after, as measured from 2025

### Economic Impact on Brevard County

ECONOMIC IMPACT	2023 Base	2026 Increase Over 2025	Total Increase 2026-2030
<b>Direct Spending<sup>2</sup></b>	\$3,001,500	+\$647,700	+\$2,178,300
<b>Wages<sup>2</sup></b>	\$1,529,500	+\$330,000	+\$1,110,000
<b>Total Economic Impact<sup>3</sup></b>	\$4,652,400	+\$1,003,936	+\$3,376,365

<sup>2</sup>Assumes 3% increase in spending per visitor and wages per employee each year from 2023 base

<sup>3</sup>Total Economic Impact calculated by multiplying 1.55 as a factor of Direct Spend, as recommended by Downs & St. Germain



## **Visitor Statistics and Demographics**

### **Overall**

- Average lighthouse experience rating of 9.7 out of 10 with 56% saying they would return to visit
- 63 median age with \$104,100 median household income
- 91% Caucasian, 7% Hispanic, 4% African American. 1% or less in all other categories.
- 56% female, 43% male, 1% non-binary

### **Out-of-County**

- 52% out-of-county vs. 48% in-county visitors
- 55% of out-of-county came from other Florida counties with the rest primarily from Michigan, New York, Maine, Georgia, Washington, DC, Illinois and North Carolina.
- 55% stayed in hotel/motel/resort rooms, 18% in vacation rental homes, 10% in campgrounds, 7% in timeshares, and 5% with family/friends
- 3.2 average number of nights with an average party of 3.4 people and 14% with children

## **COMMUNITY BENEFITS AND SUPPORT**

The Cape Canaveral Lighthouse holds a special place in the hearts and imaginations of Brevard County residents, as evidenced by the level of support both received and given.

- Every year, multiple organizations, including active duty and auxiliary Coast Guard units and scout troops reach out to ask if they can donate their time to help maintain and beautify the lighthouse and light station.
- Multiple Eagle Scout projects have been performed at the lighthouse in past years. In 2024, one is complete and two are in work. All will help CCLF protect the archaeologically sensitive areas around the lighthouse.
- In 2022, CCLF partnered with Keep Brevard Beautiful to create and implement the first Adopt-A-Landmark Program. This effort drew on dozens of volunteers from the Coast Guard, local Master Gardeners, Eastern Florida State College Rotaract Club, and other volunteers to landscape the area around the Keeper's Cottage with native plants. This initiative won a national award from Keep America Beautiful for innovative programming.
- CCLF currently has over 150 active volunteers who do everything from interpret the lighthouse and its history for visitors, manage security information and escort tours out to the lighthouse and Space Force Museum, run the gift shop, manage the sale and engraving of bricks, solicit and build the membership base, create marketing material and write press releases, and plan and hold appreciation and fundraising events. Where other nonprofit organizations struggle for enough volunteers to operate their programs, CCLF is blessed with a solid and motivated volunteer cadre.
- The CCLF Speaker's Bureau reaches out to organizations around the county to teach about the lighthouse.
- Community Outreach volunteers attend local events, like Pioneer Day at Sams House and Archaeologists for Autism.
- On behalf of SLD 45, CCLF manages the annual Descendants Day. This is the one day of the year when people around the country who are descended from people who used to live on the Cape before the Space Program began, can come out to see where their ancestors lived and where many of them are buried. CCLF manages the security and logistics, provides lunch, takes them to the cemeteries, and arranges for a Space Force guest speaker.

- August 7, 2024 will be the 2<sup>nd</sup> year CCLF has provided special public access to the lighthouse to celebrate National Lighthouse Day. Last year, nearly 100 people came out, all eager to participate in the creation of a video for the US Lighthouse Society, to the song, “Meet Me at the Lighthouse”.
- August 17-18, 2024 will be the 4<sup>th</sup> year the lighthouse museum has hosted the KSC Amateur Radio Operators Club for International Lighthouse and Lightship Weekend. This event aims to celebrate the importance of lighthouses and those who have tended them through the years. Visitors can listen in while they broadcast and receive hundreds of messages from other lighthouses and lighthouse enthusiasts around the world.
- CCLF is an active and founding member of the Museums of Brevard, working diligently to leverage the power of many to improve what we offer to tourists and residents, while learning from each other how to better manage our own organizations and develop best practices in the museum profession.
- CCLF membership has grown over the years and has 500+ active members, both in and out of county. Members are given the opportunity to participate in quarterly caravans to the lighthouse and other special member events, they receive discounts in the gift shop, for bricks and for commercial tours. An annual appreciation picnic is held for volunteers and members to thank them for their support.



Coast Guard Volunteers



Adopt-A-Landmark Volunteers



Eagle Scout Project



Descendants Day



National Lighthouse Day



International Lighthouse and Lightship Weekend

In preparation for seeking funding for Phase 2, CCLF reached out to local community and government leaders to ask for their support. These leaders provided letters of support that were submitted to and utilized by Senator Debbie Mayfield and Representative Tyler Sirois, who jointly sponsored legislation at the state level to fund our Phase 2 buildings. The project was considered compelling enough that both the Florida House and Senate included full Phase 2 funding in the 2025 budget request to the Governor. Unfortunately, this line item was vetoed by the Governor in June 2024, along with most cultural appropriations throughout the state.

In addition to the support from Senator Mayfield and Representative Sirois, as evidenced by their legislation sponsorship, the letters we gathered in this campaign are available in an attachment from:

- **Tom Goodson**, Brevard County Commissioner, District 2
- **Janice Kershaw**, President and CEO of the Brevard Schools Foundation
- **Jimmy Lane**, President and CEO of the Cocoa Beach Regional Chamber of Commerce
- **Erin Akins**, President of the Titusville Area Chamber of Commerce
- **Kevin Jobes**, President of the Propeller Club Port Canaveral
- **Jon Hill**, President of the Florida Lighthouse Association
- **Tara Miller**, Chair of the National Space Club Florida Committee
- **Mark Marquette**, President Museums of Brevard
- **Shane Smith**, Founder and CFO of Operator Solutions
- **Todd McDowell**, President of AOTC
- **Thomas Moriarty**, USCG LCDR (ret), President of Alidade MER, Inc.

We appreciate these endorsements and the confidence these key leaders have in our vision and ability to succeed.

Tom Goodson, District 2 Commissioner  
2575 N. Courtenay Pkwy, Suite 200  
Merritt Island, FL 32953

Telephone: (321) 454-6601  
www.brevardfl.gov  
D2.commissioner@brevardfl.gov



October 17, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

I wish to express my support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 needed to complete the final phase of restoring the historic Cape Canaveral Light Station. Specifically, this funding would fully support the construction of two replica keeper's cottages.

In 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities. This initial phase of CCLF's restoration project was completed on time and on budget, and enhancements to the Light Station have been dramatic.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. This profound history must be preserved and shared with everyone who lives in or visits Brevard. Along with our other museums and historic sites, they provide a tremendous educational opportunity for our youth through their field trips and experiential learning. These last two cottages will double the information and cultural experience available at the lighthouse.

With the funding to complete the final phase, I know CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for residents and their children, as well as tourists to the area.

Please accept my sincere thanks for your support of the CCLF funding request.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tom Goodson", is written over a light blue horizontal line.

Tom Goodson  
Brevard County Commissioner, District 2

**District 2 Includes**

Cocoa • Kennedy Space Center • Merritt Island • Port Canaveral • Cape Canaveral • Avon by the Sea • Cocoa Beach • Snug Harbor • Patrick SFB • Rockledge



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**Shane Smith**  
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**Dean H. Stewart**  
*Dean Stewart Photography*

**Alexandria Wicker**  
*2022 Teacher of the Year  
Brevard Public Schools  
DeLaura Middle*

**Megan Wright**  
*School Board Member*

**Matthew Yount**  
*Imperial Estates Elementary*

**Yvonne McGuire**  
*Board Member Emeritus  
Morgan Stanley*

*Please remember us with a bequest.*

*Giving through the Combined Federal  
Campaign? Our code is #28360*

October 10, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

On behalf of Brevard Schools Foundation, I wish to express our strongest support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 needed to complete the final phase of restoring the historic Cape Canaveral Light Station. Specifically, this funding would fully support the construction of two replica keeper's cottages.

In 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities. This initial phase of CCLF's restoration project was completed on time and on budget, and enhancements to the Light Station have been dramatic. CCLF has become a valued partner in our efforts to preserve, restore and share the history of Brevard County with Brevard Public School students.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

One of the primary activities of CCLF is educational outreach to students of all ages. They provide a tremendous educational opportunity for our youth through their field trips and experiential learning. These last two cottages will double the information and cultural experience available at the lighthouse.



With the funding to complete the final phase, I know CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for residents and their children, as well as tourists to the area. Brevard Schools Foundation supports the CCLF funding requests currently in the Senate and House and thanks you for your efforts in gaining approval.

Sincerely,

Janice Kershaw  
President & CEO

**Board of Directors**

**Richard Miller, Chairman**  
*Miller & Hurt Wealth Advisors*

**Johnathan Wilkes, Vice Chairman**  
*Wharton-Smith, Inc.*

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*Board Member Emeritus  
Morgan Stanley*

*Please remember us with a bequest.*

*Giving through the Combined Federal  
Campaign? Our code is #28360*



October 11, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyle Sirois  
260 North Tropical Trail, Suite 206  
Merritt Island, FL 32953-4806

RE: Local Funding Initiative Request for the Cape Canaveral Lighthouse Foundation (CCLF)

Dear Senator Mayfield and Representative Sirois,

On behalf of the business community on Florida's Space Coast, thank you for allowing me the opportunity to encourage you to support the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 for the completion of the final phase of restoring the Cape Canaveral Light Station. The funds would allow for the construction of two replica keeper's cottages.

The CCLF received a total of \$750,000 in 2018-19 from county grants and state funding which was used to reconstruct a replica keeper's cottage as well as to build public restroom facilities. As good stewards of the funds received, the initial phase of the project was completed on time and on budget and has dramatically enhanced the visitor experience.

Per the Chamber's Guiding Policy Principles, we recognize that art, culture, recreation, and tourism play a vital role in attracting new businesses, recruiting and retaining talent, and enhancing community development. Therefore, the Cocoa Beach Chamber advocates for, "responsible funding for programs and organizations offering exposure to arts, culture, recreation, and tourism to further solidify the Space Coast as a top travel destination."

This appropriation will allow for the completion of the final phase of the project, providing exceptional value to our community as it will contribute directly to educational opportunities for residents and guests. The Chamber appreciates your consideration of this request and thank you again for all that you do for the residents of Brevard County and our state.

Sincerely,



Jimmy Lane  
President & CEO  
Cocoa Beach Regional Chamber of Commerce





Titusville Area  
Chamber of Commerce  
2000 South Washington Avenue  
Titusville, Florida 32780  
321-267-3036  
321-264-0127 fax  
www.titusville.org

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Past Chair  
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*The Astronauts Memorial Foundation*

Kyle Bradfield  
*Geico Local*

Lisa Nicholas  
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Marjie Tobin  
*Celebrate Powered by RE/MAX Aerospace Realty*

Matt Agnini  
*Advancify*

Mike Snyder  
*Launch Network Digital Media Services*

Sergio Salazar  
*Titusville Family YMCA*

Pete Lynch  
*Victory Casino Cruises*

Scott Larese  
*City Of Titusville*

President  
Erin Akins

Staff  
Amanda Bates  
Ashley DiBacco  
Sierra Howard  
Jeanie Hensler

October 12, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

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The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

With the funding to complete the final phase, I know CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for residents and their children, as well as tourists to the area.

Sincerely,

Erin Akins  
President  
Titusville Area Chamber of Commerce  
321-267-3036  
321-429-8860  
akins@titusville.org



# Propeller Club Port Canaveral

Chartered 1999

Serving the Maritime Community

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

On behalf of the Propeller Club of Port Canaveral, an organization that represents hundreds of individuals, businesses, and other entities throughout Brevard County, I wish to express our strongest support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 needed to complete the final phase of restoring the historic Cape Canaveral Light Station. Specifically, this funding would fully support the construction of two replica keeper's cottages.

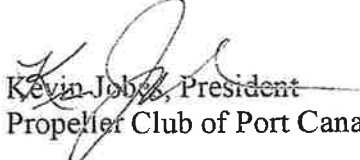
In 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities. This initial phase of CCLF's restoration project was completed on time and on budget, and enhancements to the Light Station have been dramatic.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

The International Propeller Club of the United States is a grassroots, non-profit organization whose membership resides throughout the United States and the world. The club promotes the maritime industry through its many programs and by partnering with similar organizations. Locally, the CCLF, through their many tours and other programs which bring thousands of annual visitors to our area, are a key partner in the Propeller Club of Port Canaveral's outreach to both the local and the tourism community here in Brevard County.

With the funding to complete the final phase, CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for the maritime and tourism community here. The Propeller Club of Port Canaveral thanks you for your efforts in gaining approval of this funding for the CCLF and the people of Brevard County.

Very respectfully,

  
Kevin Jobez, President  
Propeller Club of Port Canaveral

[www.propellerclubcanaveral@gmail.com](mailto:www.propellerclubcanaveral@gmail.com)  
(321) 323-9886  
PO Box 501, Cape Canaveral, FL 32920



October 20, 2023  
 Senator Debbie Mayfield  
 900 East Strawbridge Avenue  
 Melbourne, FL 32901

Representative Tyle Sirois  
 260 North Tropical Trail, Suite 206  
 Merritt Island, FL 32953-4806

RE: Local Funding Initiative Request for the Cape Canaveral Lighthouse Foundation (CCLF)

Senator Mayfield and Rep. Sirois,

On behalf of the Florida Lighthouse Association I would like to express our support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000.00 for the completion of the final phase of the restoration of the Cape Canaveral Light Station. This funding request would facilitate the construction of two replica keeper's cottages.

CCLF has previously received grants and state funding in total of \$750,000. With this money, the foundation was able to build a replica of their lost keeper's quarters. In addition to the keepers quarters, the CCLF was able to construct restroom facilities for the large number of guests visiting the station. The CCLF is a stellar example of what a small group of concerned citizens can do to save history. FLA believes they are building for their current and future success as well as long term sustainability. This organization has a plan and have steadily worked the plan to create an amazing historic asset for Brevard County, its surrounding areas and the state of Florida.

Speaking conservatively, a UF's comprehensive study showed historic preservation activities in Florida, including the rehabilitation of historic buildings, heritage tourism, the operation of history museums contribute some \$6.3 billion annually to the state. These impacts include the creation of jobs, income to Florida residents, an increase in the gross state product, increased state and local taxes, and increased in-state wealth.

Cape Canaveral Light Station is unique among Florida's Lighthouses in both its architecture, aesthetic and history. Similar Lighthouses in Florida to Cape Canaveral regularly see over 100,000 visitors per year. Those visitors spend more money than the average tourist and typically stay an additional room night in local hotels. The reconstruction of the lost Keeper's Quarters will help the CCLF accurately portray the station as it was intended to be, and allow them much needed space to interpret the history of the station and its local area.

The Florida Lighthouse Association fully supports without reservation the Cape Canaveral Lighthouse Foundations Local Funding Initiative Request.

Respectfully,

Jon Hill

President  
 Florida Lighthouse Association

c/o St. Augustine Lighthouse & Maritime Museum  
 81 Lighthouse Avenue  
 St. Augustine, FL 32080

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Patrick Gavin

***National Space Club******FLORIDA COMMITTEE***

5277 Lake Lizzie Drive, Saint Cloud, Florida 34771



October 20, 2023

Senator Debbie Mayfield

900 East Strawbridge Avenue Melbourne, FL 32901

Representative Tyle Siroi 260 North Tropical Trail, Suite 206 Merritt Island, FL 32953-4806

RE: Local Funding Initiative Request for the Cape Canaveral Lighthouse Foundation (CCLF)

Dear Senator Mayfield and Representative Sirois,

On behalf of the National Space Club member companies on the Space Coast, I am endorsing the request for funding to build the two additional keepers cottages at the Cape Canaveral Lighthouse. The lighthouse has been witness to over 3000 launches on the space coast and is a unique part of our history. I thank you for allowing me the opportunity to encourage you to support the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 for the completion of the final phase of restoring the Cape Canaveral Light Station. The funds would allow for the construction of two replica keeper's cottages completing the CCLF's commitment to an enhanced experience for education and preservation of this historic property.

The CCLF received a total of \$750,000 in 2018-19 from county grants and state funding which was used to reconstruct a replica keeper's cottage as well as to build public restroom facilities. As good stewards of the funds received, the initial phase of the project was completed on time and on budget and has dramatically enhanced the visitor experience.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. The Lighthouse property was key to the selection of Cape Canaveral as the premier launch site in the world. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

This appropriation will allow for the completion of the final phase of the project, providing exceptional value to our community as it will contribute directly to educational opportunities for residents and guests. The National Space Club Florida appreciates your consideration of this request and thank you again for all that you do for the residents of Brevard County and our state.

Sincerely,

Tara Miller  
 (affiliate)

Digitally signed by Tara  
 Miller (affiliate)  
 Date: 2023.10.20 08:21:41  
 -04'00'

Tara S. Miller, CPPM CF, PMP  
 National Space Club Chair

**Museums of Brevard, Inc**  
**400 S. Sykes Creek Pkwy**  
**Merritt Island, FL 32952**



**Mark Marquette, President**  
**Korinn Braden, Vice President**  
**Martha Pessaro, Secretary**  
**Jay Freeland, Treasurer**

*Twenty-two unique nonprofits preserving the heritage of Brevard County*

Senator Debbie Mayfield  
 900 East Strawbridge Avenue  
 Melbourne, FL 32901

Dear Senator Mayfield,

On behalf of the Museums of Brevard, Inc. (MOB), an organization that represents 22 museums and historic sites throughout Brevard County, I wish to express our strongest support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 needed to complete the final phase of restoring the historic Cape Canaveral Light Station. Specifically, this funding would fully support the construction of two replica keeper's cottages.

In 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities. This initial phase of CCLF's restoration project was completed on time and on budget, and enhancements to the Light Station have been dramatic. CCLF has become a valued partner in our efforts to preserve, restore and share the history of Brevard County. They are a founding member of the MOB and a keystone of our cultural heritage.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

One of the primary thrusts of the MOB is educational outreach to students of all ages. Along with our other member museums and historic sites, they provide a tremendous educational opportunity for our youth through their field trips and experiential learning. These last two cottages will double the information and cultural experience available at the lighthouse.

With the funding to complete the final phase, I know CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for residents and their children, as well as tourists to the area. The Museums of Brevard stand as ardent supporters of the CCLF funding requests currently in the Senate and House and thank you for your efforts in gaining approval.

Very respectfully,

A handwritten signature in blue ink, reading "Mark Marquette".

Mark Marquette, President  
 Museums of Brevard

A COPY OF THE OFFICIAL REGISTRATION AND FINANCIAL INFORMATION MAY BE OBTAINED FROM THE DIVISION OF CONSUMER SERVICES BY CALLING TOLL-FREE WITHIN THE STATE. REGISTRATION DOES NOT IMPLY ENDORSEMENT, APPROVAL, OR RECOMMENDATION BY THE STATE."

Museums of Brevard Incorporated

Registration Number :N23000000697« 1-800-HELP-FLA (435-7352) www.FloridaConsumerHelp





November 28, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tylor Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

On behalf of my company Operator Solutions, I am writing to express my strong support for the Cape Canaveral Lighthouse Foundation and their request for appropriations to complete the reconstruction project for the Cape Canaveral Lighthouse.

The Cape Canaveral Lighthouse, standing proudly on the Cape Canaveral Space Force Station, is an iconic structure that represents the rich maritime history of our region. With over 155 years of history, it holds immense cultural and historical significance. The Cape Canaveral Lighthouse Foundation has embarked on a crucial endeavor to preserve and enhance this historical landmark.

I am pleased to inform you that Phase 1 of the reconstruction project, which involved the restoration of the Head Lighthouse Keeper's Cottage, was successfully completed in 2019. Now, the Cape Canaveral Lighthouse Foundation is seeking support to commence Phase 2, which entails the reconstruction of the 1st and 2nd Assistant Lighthouse Keepers' Cottages.

The 1st Cottage will serve as an educational resource, showcasing the living conditions of Floridians from 1890-1930, as well as sharing the stories of early settlers on the Cape, including the indigenous peoples. This immersive experience will provide visitors with an understanding of the region's history and cultural heritage.

The 2nd Cottage is envisioned as an experiential and learning facility, featuring interactive exhibits and displays. This facility will offer visitors a unique opportunity to engage with the history of the Cape Canaveral Lighthouse and the surrounding area, fostering a sense of discovery and exploration.

The Cape Canaveral Lighthouse Foundation has already completed all the necessary plans and designs for Phase 2 during Phase 1, including the installation of infrastructure required for the construction of the cottages. With the project ready to commence, your support in securing the necessary funding is crucial.

This reconstruction project will not only enhance the Cape Canaveral Lighthouse's appeal as a popular tourist destination but also establish it as a vital educational venue for students from across Central Florida. By completing the cottages, we will contribute to the region's cultural heritage and ensure that future generations can learn from and appreciate our history.



The Cape Canaveral Lighthouse Foundation has demonstrated a proven track record of successfully executing complex projects, as evidenced by the timely completion of Phase 1 within budget. With your support, their vision can be realized, and the Cape Canaveral Lighthouse can continue to serve as a beacon of our maritime history.

I kindly request that you consider supporting the Cape Canaveral Lighthouse Foundation's request for appropriations to complete Phase 2 of the reconstruction project. Your assistance will not only benefit the local community but also attract visitors to our region, fostering economic growth and educational opportunities.

Thank you for your attention to this matter. I appreciate your dedication to preserving our cultural heritage and supporting initiatives that promote tourism and education. Should you require any further information or have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "S. Smith", written over a light blue horizontal line.

Shane Smith  
Founder & CFO





October 11, 2023

Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

I wish to express my support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000 needed to complete the final phase of restoring the historic Cape Canaveral Light Station. Specifically, this funding would fully support the construction of two replica keeper's cottages.

As a former Coast Guardsman who use to maintain the grounds around the lighthouse as well as the LORAN repeater inside the lighthouse, and being a resident of Brevard County for thirty years, the lighthouse is near and dear to me.

In 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities. This initial phase of CCLF's restoration project was completed on time and on budget, and enhancements to the Light Station have been dramatic. CCLF has become a valued partner in our efforts to preserve, restore and share the history of Brevard County.

The Cape Canaveral lighthouse is one of the oldest structures in Brevard County. Built in 1868, the Lighthouse was the earliest aid to navigation in our area, leading to the development of today's multi-billion dollar maritime and space industries of Port Canaveral, FL. This profound history must be preserved and shared with everyone who lives in or visits Brevard.

With the funding to complete the final phase, I know CCLF will again deliver a completed project of exceptional value, contributing to the overall opportunities for residents and their children, as well as tourists to the area.

Sincerely,  
AΩTC

A handwritten signature in blue ink, appearing to read "Todd R. McDowell".

Todd R. McDowell  
President

321.445.9845

PO BOX 236727, COCOA, FL 32923

www.a-otc.com



Senator Debbie Mayfield  
900 East Strawbridge Avenue  
Melbourne, FL 32901

October 19, 2023

Representative Tyler Sirois  
Suite 206  
260 North Tropical Trail  
Merritt Island, FL 32953-4806

Dear Senator Mayfield and Representative Sirois,

I am writing you today to express my strongest support for the Cape Canaveral Lighthouse Foundation's (CCLF) Local Funding Initiative Request of \$650,000. These funds will be used to complete the final phase of restoring the historic Cape Canaveral Light Station. The funding would be used for the final phase which includes construction of two replica keeper's cottages.

I am a retired U.S. Coast Guard veteran, Brevard County resident and business owner. As a former Coast Guardsman, I am duty bound to preserve the history of the men and women who stood the watch and kept that lamp lit. They helped mariners safely complete their voyages.

The Cape Canaveral lighthouse was built in 1868, the Lighthouse was the earliest aid to navigation in our area. Coastal aids to navigation were instrumental in the establishment, development and ultimate success of Port Canaveral and the region's economy.

During 2018-2019, CCLF received a total amount of \$750,000 in county grants and state funding which was used to reconstruct a replica keeper's cottage as well as public restroom facilities and site preparation for the second phase of construction.

The initial phase of CCLF's restoration project was completed on time and on budget. It immensely improved the appearance of the site, but also houses an excellent collection of historic artifacts and materials that support the heritage of the region and the Cape Canaveral Lighthouse in particular.

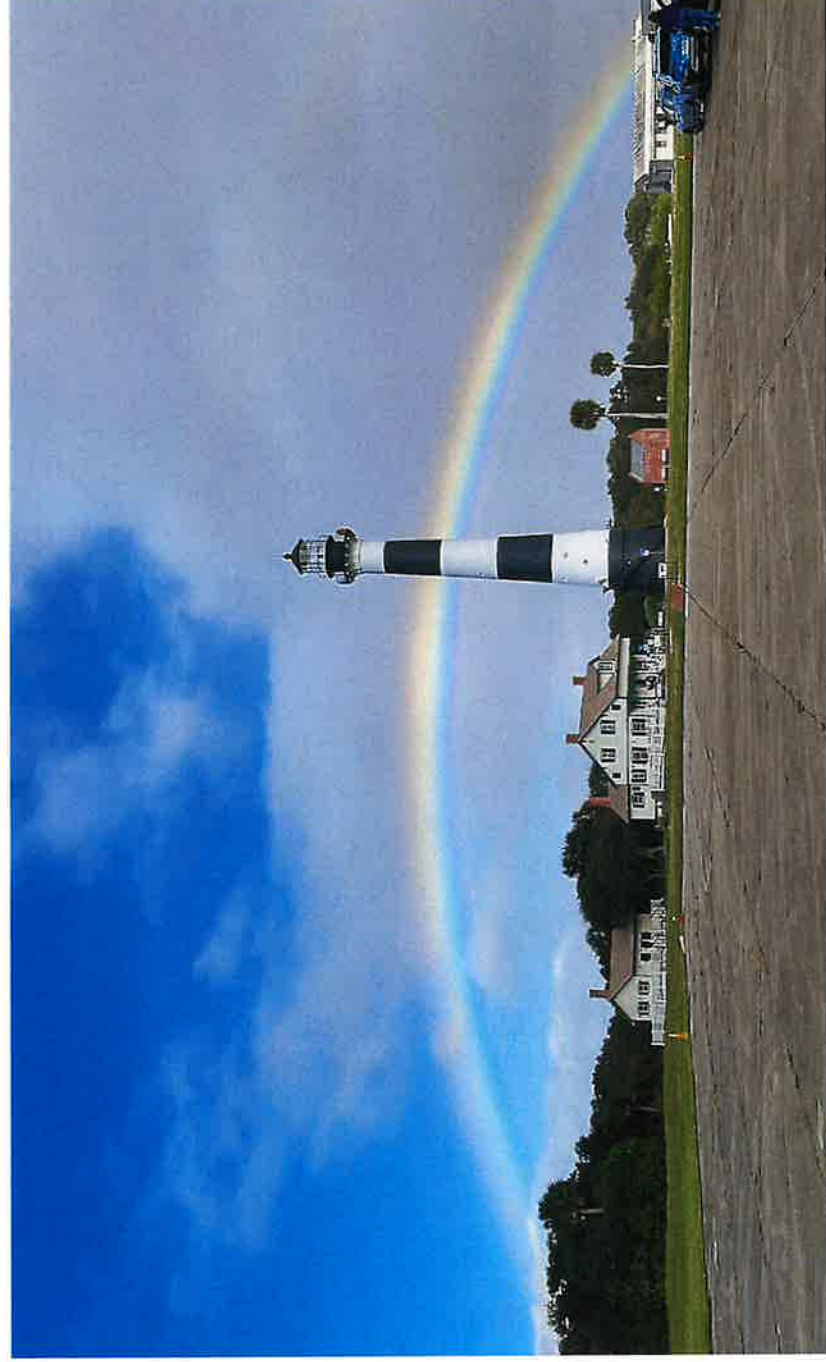
CCLF has demonstrated during phase 1 that they are excellent stewards of funding that has been entrusted to them. I would very much appreciate your support in the appropriation of funding for this important endeavor.

Very respectfully,

Thomas J. Moriarty, USCG LCDR (Retired)  
President, Alidade MER, Inc.



## Experience The Cape Canaveral Lighthouse



## Major Events at the Lighthouse

2024 Cape Family Day

8,500 Visitors to the Lighthouse and Hangar C

2023 Space Force T-Minus 10-Miler

2000+ runners and spectators





## Holidays at the Lighthouse

The Coast Guard hoists the wreath to the top of the 151-foot lighthouse.



The Lighthouse is part of the Museums of Brevard Annual Holiday Tour of Historic Homes.



## Launches and the Lighthouse



Time lapse of Falcon  
Heavy launch and dual  
booster return (2 miles  
from lighthouse)



While launch viewing from the lighthouse is  
spectacular, we are not allowed to schedule  
tours to accommodate launch schedules. If they  
happen to be out for a tour, then look up... ☺

## 2023 National Lighthouse Day

Making a video for the  
US Lighthouse  
Society, to the song,  
“Meet Me at the  
Lighthouse”



## 2023 International Lighthouse and Lightship Weekend



Every year, the KSC Amateur Radio Club operates inside the lighthouse museum to participate in an international event where radio operators around the world contact lighthouses. They typically communicate with over 600 people over the course of two days.



## School Days at the Lighthouse

### Home School Tours



Palm Bay Elementary making their first field trip anywhere!



## Descendants Day



Every year, the Lighthouse Foundation hosts a Descendants Day on behalf of SLD 45. Descendants of people who used to live on the Cape are invited to celebrate their ancestors and visit the family cemeteries, since this area is no longer accessible to them.

They tour multiple cemeteries, visit the lighthouse and Hangar C, have lunch inside Hangar C, and bring their old family photos to share with us, as we build our archives of Cape history that we plan to share in the new cottages.





## Military and Community Support



Space Force personnel around the world come to visit “their” lighthouse!



US Coast Guard members volunteer several times a year to help maintain and improve the light station



2018 Groundbreaking for the Museum and Gift Shop



2024 Eagle Scout Project to build a new fence and refresh the shell walkway. 2 more Eagle projects in work for 2024-25.

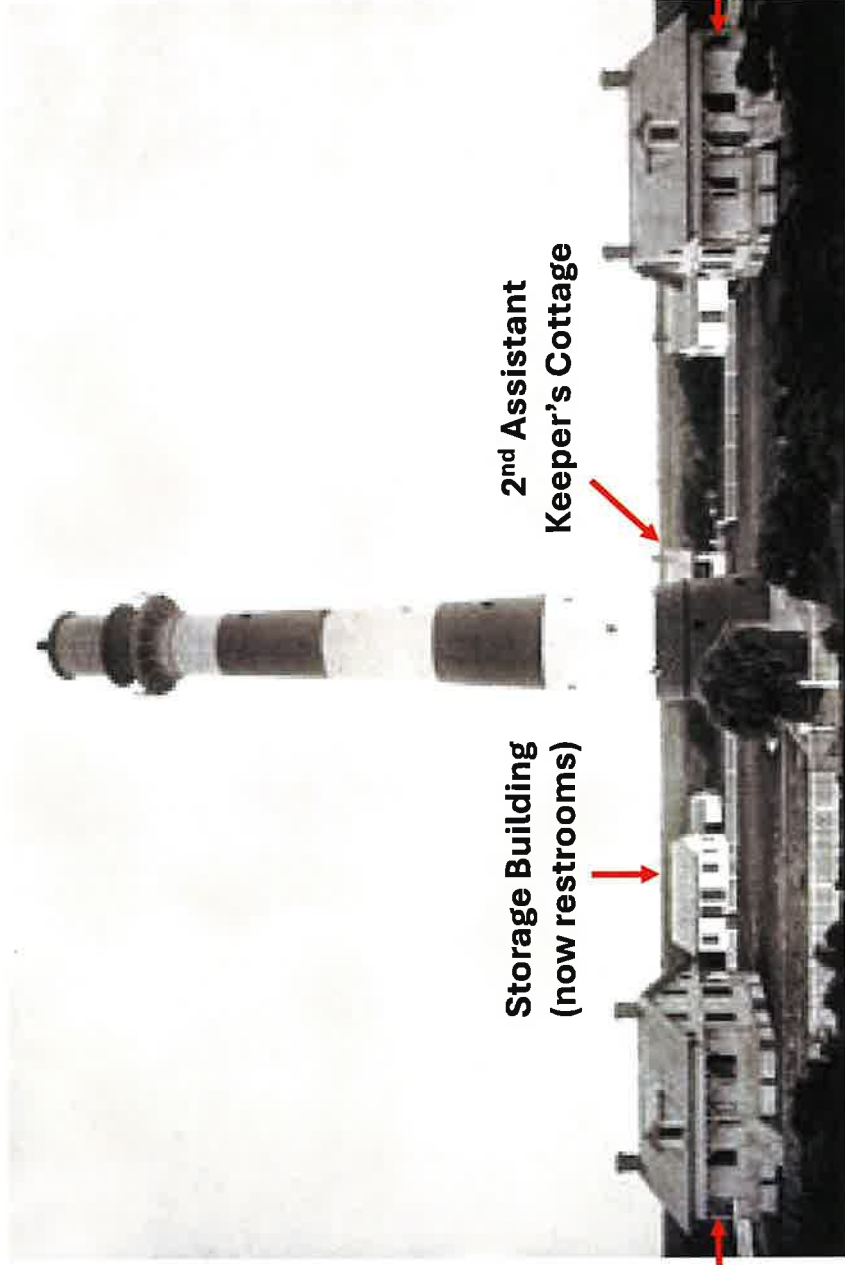


Keep Brevard Beautiful and Master Gardeners transformed the grounds as part of the first national Adopt-A-Landmark program



# Renderings

Light Station 1894-1965



Head Keeper's  
Cottage (now  
Museum and Gift  
Shop)

Storage Building  
(now restrooms)

2<sup>nd</sup> Assistant  
Keeper's Cottage

1<sup>st</sup> Assistant  
Keeper's Cottage

# Light Station Today

## Ready to Break Ground



New Lighthouse  
Experience Cottage Site

New Replica  
Cottage Site



## Replica Cottage

(1<sup>st</sup> Assistant Keeper)



Two stories with 2,761 square feet. Nearly identical to Head Keeper's Cottage currently housing the Museum and Gift Shop. Step back in time to see how the early keepers and other inhabitants of the Cape lived.



# Lighthouse Experience Cottage

(2<sup>nd</sup> Assistant Keeper)



One story with 1,421 square feet. To be used as an experiential and learning center, with interactive and immersive exhibits and displays. Aligns with growing tourism and museum trends to increase visitor engagement.

# Light Station Evolution



Light Station 1894-1965



All Cottages Burned in 1966



Light Station 1966-2019



Light Station 2019-present



## 2026 – The Light Station Lives Again



# LIGHTHOUSE

# CAI

## SITE DATA:

### 1. APPLICANT:

CAPE CANAVERAL LIGHTHOUSE FOUNDATION  
BOB MERRILEES  
P.O. BOX 1978  
CAPE CANAVERAL, FL 32920  
TEL: (321) 795-6009  
E-MAIL: VOLCOORDINATOR@CANAVERALLIGHT.ORG

### SURVEYOR:

BOWMAN CONSULTING GROUP, LTD.  
4450 W. EAU GALLIE BLVD, STE 232  
MELBOURNE FL 32934

### CIVIL ENGINEER:

CONSTRUCTION ENGINEERING GROUP  
JAKE T. WISE, P.E.  
2651 EAU GALLIE BLVD, SUITE A  
MELBOURNE, FL 32935  
TEL: (321) 610-1760  
FAX: (321) 253-3123  
E-MAIL: JWISE@CEENGINEERING.COM

### LOCATION:

CAI

# EROSION AND SEDIMENTATION CONTROL REQUIREMENTS

1. THE LAND-DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL.
2. LAND-DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER MINIMIZING EROSION.
3. THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICABLE MINIMUM.
4. EROSION CONTROL MUST BE STRICTLY MAINTAINED DURING CUT AND FILL OPERATIONS.
5. DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICABLE.
6. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.
7. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
8. PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.
9. ADEQUATE PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS.
10. TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.
11. CUTS AND FILLS MUST BE CONSTRUCTED IN SUCH A MANNER THAT EROSION AND RUNOFF FROM THE SITE DOES NOT ENDANGER ADJOINING PROPERTY.
12. FILLS MAY NOT ENCROACH UPON NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS WITHOUT ADEQUATE PROVISIONS FOR AN EQUIVALENT ALTERNATE SYSTEM WITH A POSITIVE OUTFALL.
13. ALL R.O.W.'S, WATERWAYS, STREETS AND SIDEWALKS SHALL BE BUFFERED BY A TWENTY (20) FOOT WIDE STRIP OF GRASS OR OTHER SUITABLE MEANS.
14. GRADING EQUIPMENT MUST CROSS FLOWING STREAMS BY MEANS OF BRIDGES OR CULVERTS EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE AND PROVIDED IN ANY CASE, THAT SUCH CROSSINGS ARE KEPT TO A MINIMUM AND SEDIMENTATION CONTROL DEVICES ARE PROVIDED.

# CONTRACTOR RESPOI

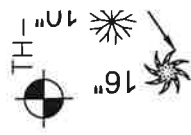
1. GENERAL NOTES  
A. CONTRACTOR SHALL COMPLY WITH ALL RE: ENGINEERS, AND MUNICIPALITY/COUNTY W/ CONTRACTOR SHALL MAINTAIN A RECORD ( DATES WHEN SITE WORK BEGINS, ER ARE CONSTRUCTED, AND FINAL STABI REPORT INSPECTOR'S NAME, QUALIFIC INSPECTIONS.  
2) PICTURES OF ANY PROBLEM AREAS DATE AND TIME.  
C. PRIOR TO FINAL PAYMENT, CONTRACTOR S THE PROJECT. CONTRACTOR SHALL EXEC DESCRIPTION OF THE INTENDED SEQUENCE FIRST, GRADE THE SITE INCLUDING THE SI (SOD ALL AREAS FINAL GRADED IMMEDIATE PROJECT.  
B. ESTIMATE OF THE TOTAL AREA OF THE SIT ACTIVITIES.  
THE ENTIRE 4.19 ACRES ARE EXPECTED T IDENTIFIED ON THE EXISTING SITE PLAN.  
C. AN ESTIMATE OF RUNOFF COEFFICIENT OF METHOD. "C" CAN BE APPROXIMATED AS 0.25 (BEF MANAGEMENT FOR CONSTRUCTION ACTIVITIE THE EXISTING DATA DESCRIBING EXISTING POMELLO SAND, IMMOKALEE SAND AS CLA OFF-SITE OVERFLOW RECEIVING BODY. ATLANTIC OCEAN.  
3. CONTROLS  
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A. EROSION AND SEDIMENT CONTROLS.  
1) STABILIZATION PRACTICES: EXCAVATE UNSUITABLE MATERIALS WILL BE PRO STRUCTURAL PRACTICES: THE CONTI STORMWATER MANAGEMENT PONDS, C BARRIERS.  
CONTRACTOR SHALL INSTALL ADDITION PROTECTION OF RECEIVING WATER BC STORMWATER MANAGEMENT: THE ENTIRE SHALL CONTROL TURBID RUNOFF FROM MEASURES.  
C. OTHER CONTROLS: ALL GUIDELINES ANI FLORIDA DEPARTMENT OF ENVIRONMENTA MAINTENANCE  
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- THE CONTRACTOR SHALL GRADE THE SITE WASHOUTS WHERE THEY OCCUR AFTER E  
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4. MAINTENANCE  
- THE CONTRACTOR SHALL PROVIDE ROUTIN SEDIMENT CONTROL FEATURES FOR THE  
- THE CONTRACTOR SHALL GRADE THE SITE WASHOUTS WHERE THEY OCCUR AFTER E  
- ALL DRAINAGE STRUCTURES SHALL BE DE- PROVIDE POSITIVE DRAINAGE FLOWS AND MINI BODY.

10"

12"



2-  
TYF



TH-16"

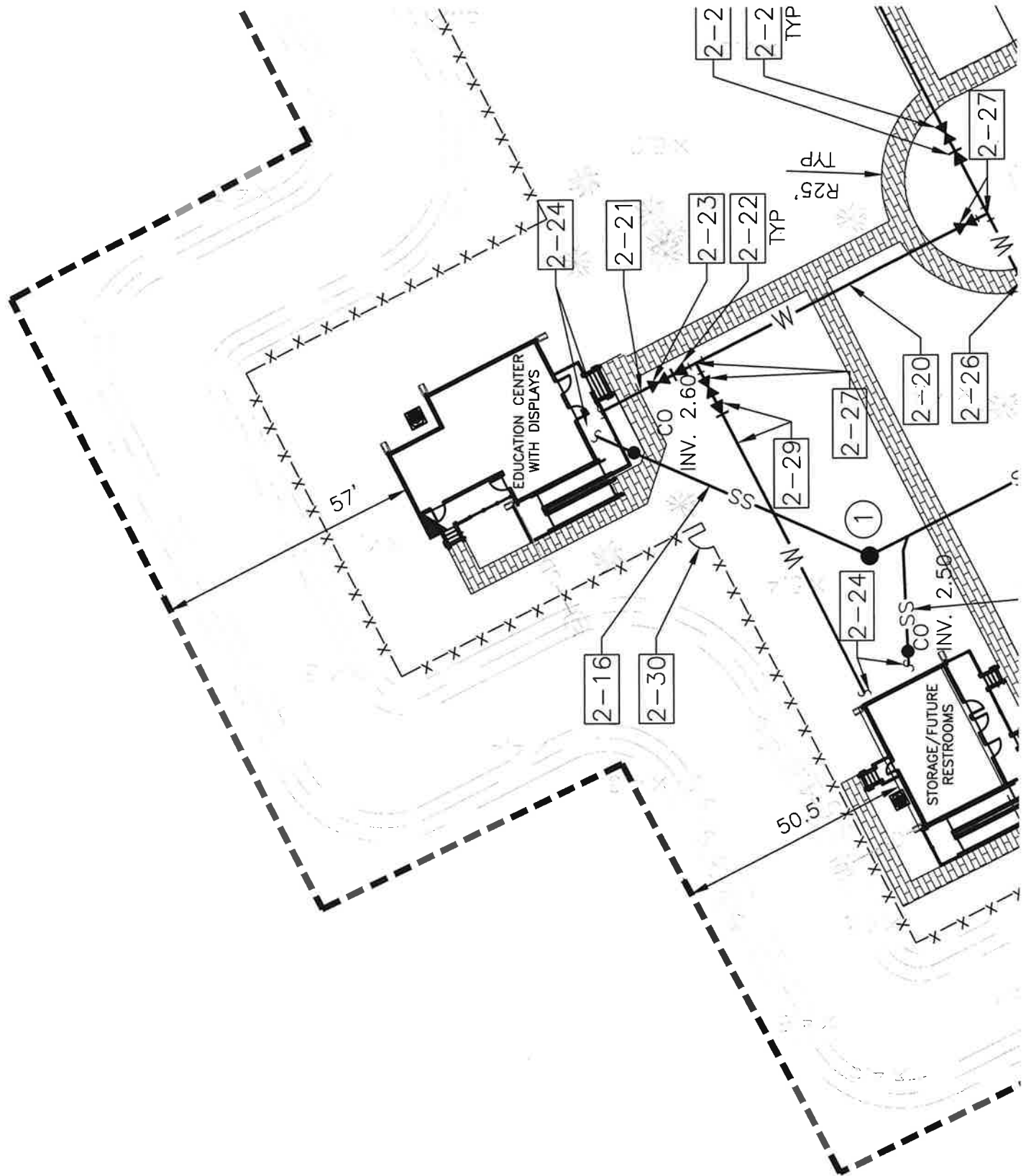


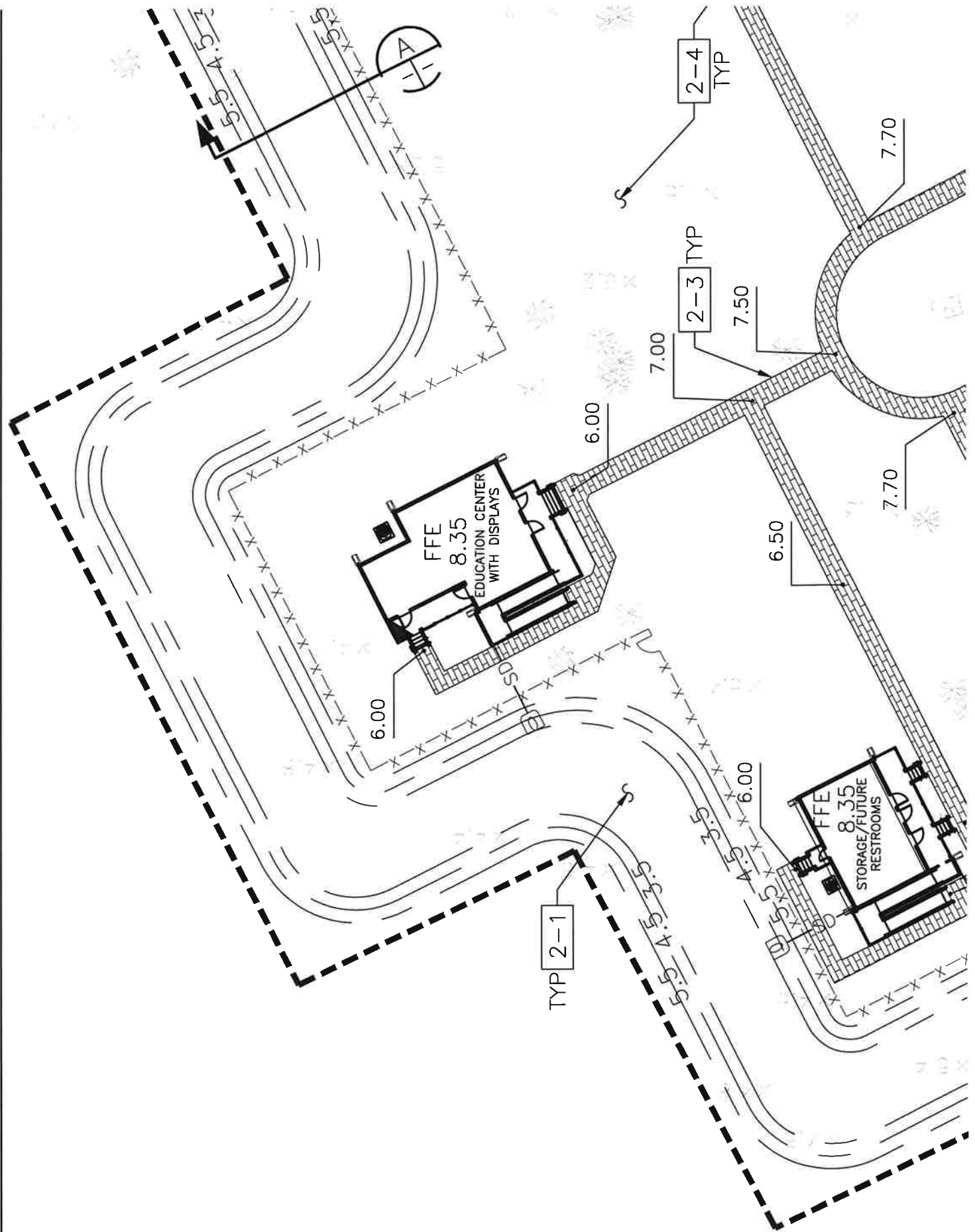
TH-10"



TH-7"









- CCAFS

1. PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS AT THE DRIP LINE TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.

## CONCRETE

1. ALL CONCRETE STRENGTHS SHALL BE AS FOLLOWS WITH BROOM FINISH UNLESS IDENTIFIED OTHERWISE:  
FOUNDATIONS & SLABS ON GRADE \_\_\_\_\_ 3000 PSI  
MASONRY GROUT AND UNREINFORCED CONCRETE \_\_\_\_\_ 3000 PSI
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 (FY=60 KSI).
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED ONE FULL MESH PANEL PLUS 2 IN. AT SIDES AND ENDS AND BE WIRED TOGETHER. FIBER MESH MAY BE SUBSTITUTED PER DIRECTION OF ENGINEER AT REQUEST OF CONTRACTOR.
4. CALCIUM CHLORIDE SHALL NOT BE USED IN ANY FORM.
5. ADDITION OF WATER TO CONCRETE AT THE JOB SITE SHALL BE PROHIBITED.
6. ALL CONCRETE WORK SHALL COMPLY WITH PROVISIONS OF ACI 318, 315, AND 301, LATEST EDITIONS, UNLESS OTHERWISE NOTED.
7. REINFORCING FOR CONTINUOUS FOUNDATIONS AND BEAMS SHALL BE CONTINUOUS AT CORNERS AND INTERSECTIONS. PROVIDE SPLICE BARS AND/OR HOOK ENDS FOR CONTINUOUS REINFORCING.
8. MINIMUM CONCRETE PROTECTION FOR REINFORCING BARS:  
STRUCTURAL ELEMENT \_\_\_\_\_ MIN CLEAR COVER  
FOOTINGS, (CAST AGAINST & PERMANENTLY EXPOSED TO EARTH) \_\_\_\_\_ 3 INCHES  
SLABS (IN CONTACT WITH EARTH) \_\_\_\_\_ 2 INCHES

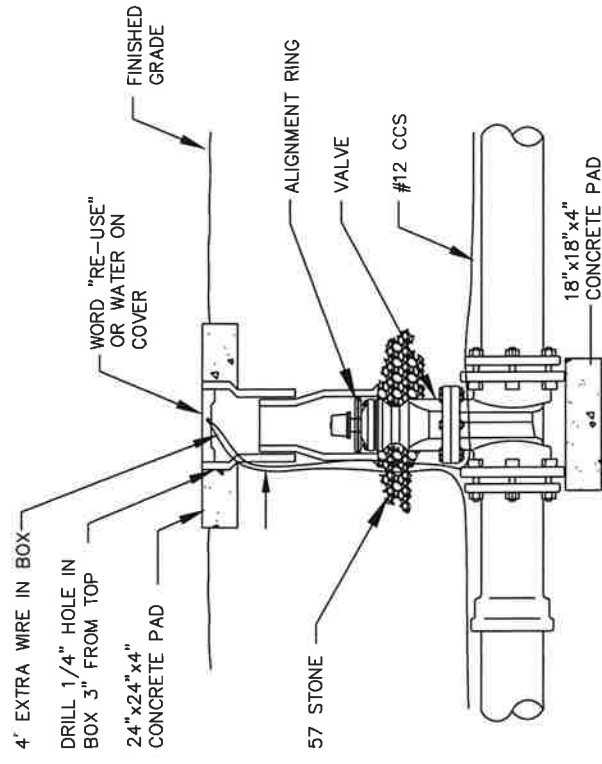
## FDEP WATER SPECIFICATIONS

1. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT WILL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. [FAC 62-555.320(21)(B), RSWW 8.0, AND AWWA STANDARDS AS INCORPORATED INTO FAC 62-555.330; EXCEPTIONS ALLOWED UNDER FAC 62-555.320(21)(C)]
2. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62-555.320(3)(B), F.A.C. [FAC 62-555.320(3)(B); EXCEPTIONS ALLOWED UNDER FAC 62-555.320(3)(D)]
3. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD. [FAC 62-555.322]
4. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(21)(B)3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINE ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ADDITIONAL PIPE

## FDEP W

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# GATE VALVE AND VALVE BOX DETAIL NTS



## NOTES:

1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. IF THE DEPTH OF THE VALVE NUT IS GREATER THAN 48" BELOW GRADE, OR 30" BELOW GRADE AND UNDER THE WATER TABLE, A VALVE EXTENSION WILL BE REQUIRED. SEE VALVE EXTENSION STEM DETAIL.
3. PROVIDE A PLASTIC DEBRIS SHIELD/ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 24" ABOVE TOP OF COLLAR. WIRE SHALL BE COLORED TO MATCH THE UTILITY



<p>1.1 SCOPE OF WORK</p> <p>1.1.1 GENERAL</p>	<p>ALL POTABLE WATER AND RECLAIMED WATER MAINS AND APPURTENANCES MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF COCOA UTILITIES DEPARTMENT'S TECHNICAL PROVISIONS AND STANDARD DETAILS, THE CITY OF COCOA UTILITIES DEPARTMENT UTILITIES HANDBOOK AND THE APPROVED PLANS, FOR THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM AND THE WATER RECLAMATION SYSTEM. CONTRACTOR REQUIREMENTS INCLUDE:</p> <ul style="list-style-type: none"> <li>• FURNISHING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY OR INCIDENTAL TO THE CONSTRUCTION.</li> <li>• OBTAINING AND PAYING FOR ALL PERMITS, INSPECTIONS, AND OTHER OFFICIAL FEES IN CONNECTION WITH THE WORK.</li> <li>• ARRANGING A PRE-CONSTRUCTION CONFERENCE WITH THE ENGINEERING INSPECTION DIVISION. ALL FEES MUST BE PAID PRIOR TO PRE-CONSTRUCTION MEETING. IT IS REQUIRED THAT THE PRE-CONSTRUCTION MEETING BE HELD PRIOR TO ORDERING MATERIALS.</li> <li>• SCHEDULING MATERIALS INSPECTION (24 HOURS NOTICE), OPEN DITCH INSPECTION, PRESSURE/LEAKAGE TEST, AND FINAL INSPECTION.</li> <li>• PROVIDE ALL DOCUMENTS PER THE PROJECT REQUIREMENT LETTER, INCLUDING BUT NOT LIMITED TO AS BUILT DRAWINGS, BILLS OF SALE, EASEMENTS, ETC.</li> </ul> <p>ANY DEVIATION FROM THESE REQUIREMENTS MUST BE APPROVED IN WRITING BY THE UTILITIES DIRECTOR OR HIS DESIGNEE PRIOR TO COMMENCEMENT OF CONSTRUCTION.</p> <p>FEES CHARGED BY THE CITY ARE SET BY CITY COUNCIL BY RESOLUTION AND ARE LISTED ON THE APPENDIX "WATER SERVICE RATES AND CHARGES" MADE A PART OF THE UTILITIES HANDBOOK. FEES ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE MOST CURRENT FEES WILL BE CHARGED.</p> <p>THE UTILITIES DEPARTMENT AND ENGINEERING DIVISION ARE LOCATED AT 351 SHEARER BLVD., COCOA, FLORIDA, 32922. THE DISPATCH TELEPHONE NUMBER IS (321) 433-8718; FACSIMILE NUMBER IS (321) 433-8708.</p>
<p>1.1.2 MATERIAL SPECIFICATION</p> <p>1.1.1 PIPE</p> <p>1.2.1.1 POLYVINYL CHLORIDE PRESS</p>	<p>POLYVINYL CHLORIDE PRESSURE PIPE</p> <p>PIPE EQUIVALENT OUTSIDE DIAMETER C</p> <p>AMERICAN WATER WORKS ASSOCIATION</p> <p>BLUE OR WHITE IN COLOR. PIPE WILL</p> <p>JOINTS WILL BE OF THE ELASTOMERIC</p> <p>SOLID-WALL BELL OR COUPLING WITH</p> <p>AND COUPLINGS WILL BEAR THE UL L</p> <p>WATER.</p> <p>1.2.1.2 FUSIBLE POLYVINYL CHLORIC</p> <p>POLYVINYL CHLORIDE PRESSURE PIPE</p> <p>PIPE EQUIVALENT OUTSIDE DIAMETER A</p> <p>18) CONFORMING TO AWWA SPECIFICAI</p> <p>COLOR. FUSIBLE PVC PIPE SHALL BE</p> <p>SHALL BE INSTALLED IN ACCORDANCE</p> <p>PVC PIPE WILL BEAR THE UL LABEL A</p>
<p>1.2.1.3 DUCTILE IRON PIPE</p>	<p>DUCTILE IRON PIPE WILL BE CEMENT-</p> <p>DIAMETER AND SMALLER AND CLASS 2</p> <p>AWWA SPECIFICATION C151. WATER MA</p> <p>WILL BE PROPERLY DESIGNED BY THE</p> <p>UTILITIES DEPARTMENT PRIOR TO INSTA</p> <p>FEET APART FROM BUILDING FOUNDATI</p> <p>DUCTILE IRON PIPE. IN NO CASE WILL</p> <p>FROM FOUNDATIONS. THE ABOVE DISTA</p> <p>THAN 8" IN DIAMETER. POLYETHYLENE</p> <p>C105 WILL BE PROVIDED FOR ALL INS</p> <p>SEALED WITH TAPE, AND SHALL BE BL</p>
	<p>THE TERM "APPROVED EQUAL" IS USED TO MEAN A PART OR ITEM THAT HAS BEEN APPROVED IN WRITING BY THE TECHNICAL PROVISION AND STANDARD DETAILS ADVISORY COMMITTEE OR THE UTILITIES DIRECTOR. A WRITTEN REQUEST MUST BE MADE IN ORDER TO HAVE AN ITEM ACCEPTED AS AN APPROVED EQUAL. WRITTEN SPECIFICATIONS ON THE PART OR ITEM MUST BE FURNISHED WITH THE REQUEST.</p> <p>APPROVED TAPPING/LINESTOP CONTRACTOR - A CONTRACTOR WHO HAS BEEN APPROVED BY THE ENGINEERING DIVISION TO PERFORM TAPS OR LINESTOPS WITHIN THE COCOA WATER SYSTEM. SOME CONTRACTORS ARE ONLY ALLOWED TO PERFORM .75" - 2.00" TAPS FOR THEMSELVES ON THEIR ON PROJECTS, THEY MAY NOT PERFORM TAPS FOR ANYBODY ELSE.</p> <p>BACKFLOW PREVENTER ASSEMBLY - A BACKFLOW ASSEMBLY IS AN APPROVED, TESTABLE ASSEMBLY COMPOSED OF TWO INDEPENDENTLY ACTING, APPROVED CHECK VALVES, INCLUDING TIGHTLY CLOSING REQUIRMENT SEATED SHUTOFF VALVES ATTACHED AT EACH END OF THE ASSEMBLY AND FITTED WITH</p>

PORTABLE CHANGEABLE MESSAGE SIGN

PRECAUTIONARY BOIL WATER NOTICE -

PROJECT MANAGER - PM

POUNDS PER SQUARE INCH - PSI

RAISED PAVEMENT MARKER - RPM

REDUCED PRESSURE ZONE ASSEMBLY

REINFORCED CONCRETE PIPE - RCP

STAINLESS STEEL - SS

TECHNICAL PROVISION AND STANDARD

TRAFFIC CONTROL PLAN - TCP

UNDERWRITERS LABORATORIES - UL

UNIFIED NUMBERING SYSTEM - UNS

UTILITIES DEPARTMENT - UD

VARIABLE FREQUENCY DRIVE - VFD

THE CCS WIRE SHALL MEET THE FOLLOWING REQUIREMENTS. HDPE INSULATION OF 30 MILS, #12 AWG CONDUCTOR, MAXIMUM OHMS RESISTANCE OF 7.565 OHMS PER 1000 FT., BREAKING LOAD 256 LBS.

WHEN DIRECTIONAL DRILLING IS USED, ONE CONTINUOUS #12 CCS EXTRA HIGH STRENGTH LOCATOR WIRE SHALL BE INSTALLED. THE CCS WIRE SHALL MEET THE FOLLOWING REQUIREMENTS: HDPE INSULATION OF 45 MILS, #12 AWG CONDUCTOR, MAXIMUM OHMS RESISTANCE OF 7.565 OHMS PER 1000 FT., BREAKING LOAD 1150 LBS.

### 1.5.6 SERVICE LINE LOCATION

SERVICE LINES WILL BE LOCATED AT ALTERNATING LOT LINES OUTSIDE THE SIDEWALK WITHIN TWO FEET OF THE RIGHT-OF-WAY LINE AS SHOWN ON APPROVED PLANS OR IN A GRASSED AREA BEHIND THE CURB IF LOCATED IN OTHER THAN A SUBDIVISION.

RECLAIMED SERVICE LINE IS TO BE LOCATED ADJACENT TO SEWER CLEANOUTS.

### 1.5.7 BACKFILLED MATERIAL AND INSPECTION

ALL BACKFILLING MATERIAL WILL BE FREE FROM CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATERIAL, BOULDERS, ROCKS, STONES, OR OTHER MATERIAL WHICH IS CONSIDERED UNSUITABLE. WHEN BACKFILL MATERIAL IS NOT SPECIFIED ON THE PLANS, BACKFILLING WITH THE EXCAVATED MATERIAL MAY BE ACCEPTABLE PROVIDED THAT SUCH MATERIAL IS SUITABLE FOR BACKFILLING. PIPE SHOULD BE BACKFILLED AS SOON AS POSSIBLE TO MINIMIZE THE LENGTH OF OPEN TRENCH. PIPE JOINTS, VALVES, FITTINGS, AND THRUST BLOCKS WILL BE LEFT UNCOVERED UNTIL INSPECTION BY THE UTILITIES DEPARTMENT HAS BEEN COMPLETED.

### 1.5.8 VALVES AND FITTINGS

ALL VALVES AND FITTINGS WILL BE SET AND JOINED TO THE PIPE IN THE PROPER LOCATION AS SHOWN ON THE PLANS. VALVES SHOULD BE INSTALLED OUTSIDE OF THE PAVEMENT WHERE PRACTICAL. A ROADWAY VALVE BOX WILL BE PROVIDED FOR EVERY VALVE. THIS VALVE BOX MUST NOT TRANSMIT SHOCK OR STRESS TO THE VALVE. VALVE WILL HAVE ALIGNMENT RING INSTALLED AND VALVE BOX CENTERED AND PLUMB OVER THE WRENCH NUT OF THE VALVE. THE BOX COVER IS TO BE FLUSH WITH THE SURFACE OF THE FINISHED PAVEMENT OR GRADE LEVEL AS SPECIFIED IN THE PLANS. A 24"-SQUARE CONCRETE PAD 4" IN THICKNESS WILL BE POURED AROUND THE VALVE BOX WHEN IT IS LOCATED OUTSIDE OF PAVEMENT. A BRONZE OR STAINLESS STEEL DISC WILL BE CAST INTO THE PAD FOR ALL VALVES 12" OR LARGER. VALVE NOMENCLATURE TO BE STAMPED INTO THE DISC WILL INCLUDE THE VALVE SIZE, TYPE, MANUFACTURER'S INITIALS, NUMBER OF TURNS, AND DIRECTION TO OPEN THE VALVE. (EXAMPLE: 12" G.V. U.S.P. 20 C.C.W.)

ALL VALVES WILL BE LOCATED WITHIN TWO FEET OF THE TEE, SEE DETAIL GATE VALVE AND FITTING DETAIL.

WHEN SOLID SIEVES OR COUPLINGS ARE USED TO JOIN/TIE-IN PIPELINES A

2. THE HDD CONTRACTOR SHALL FOLLOW THE MINIMUM CLEARANCE FROM THE BOTTOM OF THE WATER MAIN TO THE 12" AND GREATER MINIMUM CLEARANCE MAINS 10" AND LESS MINIMUM CLEARANCE
  3. THE HDD CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL UTILITIES IN ACCORDANCE WITH CHAPTER 556 OF THE
  4. THE HDD CONTRACTOR SHALL NOTIFY THE CITY OF COCOA DIVISION 48 HOURS IN ADVANCE OF THE BORE AND NOTIFY THE PERMITTING AGENCY PER THE CONDITIONS OF THE PERMIT
- ENGINEERING INSPECTOR:
1. AN APPROVED COPY OF THE BORE PLAN WILL BE GIVEN TO THE INSPECTION DIVISION.
  2. THE INSPECTOR FOR THE PROJECT WILL HAVE A COPY OF THE BORE PLAN AT THE PROJECT SITE.

## ENGINEERING INSPECTOR:

1. AN APPROVED COPY OF THE BORE PLAN WILL BE GIVEN INSPECTION DIVISION.
2. THE INSPECTOR FOR THE PROJECT WILL HAVE A COPY OF AT THE PROJECT SITE.
1. PRIOR TO THE HDD THE INSPECTOR SHALL VERIFY THAT THE PROJECT SITE FOR THE DIRECTIONAL BORE ARE IN A THE CITY OF COCOA'S LATEST TECHNICAL PROVISIONS AND
1. THE ENGINEERING INSPECTOR SHALL VERIFY THE FOLLOWING COMMENCEMENT OF THE HDD:
  - A. VERIFY THAT THE HDD CONTRACTOR HAS OBTAINED HIS/LOCATES.
  - B. VERIFY THAT ALL UTILITIES HAVE BEEN VISUALLY SPOTTED CONTRACTOR.
  - C. VERIFY THAT THE PERMITTING AGENCY HAS BEEN NOTIFIED
  - D. WITNESS THE CALIBRATION OF THE SONDE.

2. THE INSPECTOR SHALL REMAIN AT THE PROJECT SITE UNTIL THE HDD. ANY DISCREPANCIES SHALL BE IMMEDIATELY RE ALL OF THE FOLLOWING:
  - ENGINEERING SUPERVISOR
  - ENGINEERING TECHNICIAN
  - INSPECTION SUPERVISORONCE THE ABOVE PERSONS HAVE BEEN NOTIFIED BY THE PROPER AUTHORITY WILL BE NOTIFIED FOR CORRECTIVE ,  
  
COMPLETION OF THE BORE:  
  1. A BORE LOG SHALL BE SUBMITTED TO THE ENGINEERING COMPLETION OF THE BORE.

### 1.5.14 BLOWOFFS

FLUSHING BLOW-OFFS ARE TO BE INSTALLED AND CONSTRUCTED TO THE STANDARD DETAIL SHEET. BLOW-OFF MATERIALS INCLUDE NIPPLES, BRASS THREADED FITTINGS, 2" BRASS ANGLE WHEEL PLASTIC METER BOX (PURPLE FOR RECLAIMED). THE PLASTIC BE BE INSTALLED AT GRADE OVER THE WHEEL VALVE. THE ANGLE



# ATTACHMENT

## 90% DRAWINGS AND SPECIFICATIONS

- Drawings-1.pdf

General Phase 1 and Phase 2 Drawings

- Drawings-2.pdf

Drawings for Replica Cottage and Education Cottage  
(Lighthouse Experience)

- Drawings-3.pdf

General Phase 1 and Phase 2 Specifications and Details

*Note: all drawings and specifications for both Phase 1 and Phase 2 were done at the same time. To simplify for this grant request, drawings only for Phase 1 buildings have been removed.*

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
A/C	AIR CONDITIONING
ALT	ALTERNATE
AL, ALUM	ALUMINUM
AB	ANCHOR BOLT
∠	ANGLE
BD	BOARD
BOT	BOTTOM
BRG	BEARING
BLDG	BUILDING
BUR	BUILT UP ROOFING
CLG	CEILING
CT	CERAMIC TILE
CCTV	CLOSED CIRCUIT TELEVISION
CLO	CLOSET
COL	COLUMN
CMU	CONCRETE MASONRY UNIT
CJ	CONTROL JOINT
DEMO	DEMOLISH, DEMOLITION
DIA.	DIAMETER
DIM	DIMENSION
DR	DOOR
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DF	DRINKING FOUNTAIN
DW	DISHWASHER
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEC	ELECTRIC (AL)
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
ELEV	ELEVATION
EQ	EQUAL
EJ	EXPANSION JOINT
FFE	FINISH FLOOR ELEVATION
FA	FIRE ALARM
FE	FIRE EXTINGUISHER
FFC	FIRE EXTINGUISHER CABINET

# CAPE C LIG

# LIGHTHOUSE



# LIGHTHOUSE

# CAF

## SITE DATA:

### 1. APPLICANT:

CAPE CANAVERAL LIGHTHOUSE FOUNDATION  
BOB MERRILLEES  
P.O. BOX 1978  
CAPE CANAVERAL, FL 32920  
TEL: (321) 795-6009  
E-MAIL: VOLCOORDINATOR@CANAVERALLIGHT.ORG

### SURVEYOR:

BOWMAN CONSULTING GROUP, LTD.  
4450 W. EAU GALLIE BLVD, STE 232  
MELBOURNE FL 32934

### CIVIL ENGINEER:

CONSTRUCTION ENGINEERING GROUP  
JAKE T. WISE, P.E.  
2651 EAU GALLIE BLVD, SUITE A  
MELBOURNE, FL 32935  
TEL: (321) 610-1760  
FAX: (321) 253-3123  
E-MAIL: JWISE@CEENGINEERING.COM

### LOCATION:

CAFE



# EROSION AND SEDIMENTATION CONTROL REQUIREMENTS

1. THE LAND-DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL.
2. LAND-DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER MINIMIZING EROSION.
3. THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICABLE MINIMUM.
4. EROSION CONTROL MUST BE STRICTLY MAINTAINED DURING CUT AND FILL OPERATIONS.
5. DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICABLE.
6. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.
7. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
8. PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.
9. ADEQUATE PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS.
10. TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.
11. CUTS AND FILLS MUST BE CONSTRUCTED IN SUCH A MANNER THAT EROSION AND RUNOFF FROM THE SITE DOES NOT ENDANGER ADJOINING PROPERTY.
12. FILLS MAY NOT ENCROACH UPON NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS WITHOUT ADEQUATE PROVISIONS FOR AN EQUIVALENT ALTERNATE SYSTEM WITH A POSITIVE OUTFALL.
13. ALL R.O.W.'S, WATERWAYS, STREETS AND SIDEWALKS SHALL BE BUFFERED BY A TWENTY (20) FOOT WIDE STRIP OF GRASS OR OTHER SUITABLE MEANS.
14. GRADING EQUIPMENT MUST CROSS FLOWING STREAMS BY MEANS OF BRIDGES OR CULVERTS EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE AND PROVIDED IN ANY CASE, THAT SUCH CROSSINGS ARE KEPT TO A MINIMUM AND SEDIMENTATION CONTROL DEVICES ARE PROVIDED.

# CONTRACTOR RESPON

1. GENERAL NOTES  
A. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION AND MUNICIPALITY/COUNTY WITHIN THE PROJECT.  
B. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION CONTROL MEASURES AND INSPECTIONS.  
1) DATES WHEN SITE WORK BEGINS, EROSION CONTROL MEASURES ARE CONSTRUCTED, AND FINAL STABILIZATION IS COMPLETED.  
2) REPORT INSPECTOR'S NAME, QUALIFICATION, AND DATE OF INSPECTION.  
3) PICTURES OF ANY PROBLEM AREAS THAT OCCUR DURING THE PROJECT.  
C. PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL PROVIDE A DESCRIPTION OF THE PROJECT. CONTRACTOR SHALL EXECUTE THE PROJECT AS DESCRIBED IN THE INTENDED SEQUENCE C OF THE PROJECT. CONTRACTOR SHALL MAINTAIN THE SITE INCLUDING THE STOR (SOD ALL AREAS FINAL GRADED IMMEDIATELY).  
2. SITE DESCRIPTION  
A. DESCRIPTION OF THE TOTAL AREA OF THE SITE ACTIVITIES.  
B. ESTIMATE OF THE TOTAL AREA OF THE SITE ACTIVITIES.  
C. THE ENTIRE 4.19 ACRES ARE EXPECTED TO BE IDENTIFIED ON THE EXISTING SITE PLAN.  
D. AN ESTIMATE OF RUNOFF COEFFICIENT OF THE METHOD.  
E. "C" CAN BE APPROXIMATED AS 0.25 (BEFORE CONSTRUCTION FOR CONSTRUCTION ACTIVITIES).  
F. THE EXISTING DATA DESCRIBING EXISTING CO POMELO SAND, IMMOKALEE SAND AS CLASS OFF-SITE OVERFLOW RECEIVING BODY.  
3. EROSION AND SEDIMENT CONTROLS  
THIS SECTION PROVIDES A DESCRIPTION OF APPROPRIATE EROSION AND SEDIMENT CONTROLS.  
A. EROSION AND SEDIMENT CONTROLS:  
1) STABILIZATION PRACTICES: EXCAVATED UNSUITABLE MATERIALS WILL BE PROMPTLY REMOVED FROM THE SITE.  
2) STRUCTURAL PRACTICES: THE CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT PONDS, DITCHES, AND SEDIMENT TRAPS.  
B. STORMWATER MANAGEMENT: THE CONTRACTOR SHALL INSTALL ADDITIONAL PROTECTION OF RECEIVING WATER BODIES TO PREVENT TURBID RUNOFF FROM THE SITE.  
C. OTHER CONTROLS: ALL GUIDELINES AND REGULATIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION SHALL BE FOLLOWED.  
4. MAINTENANCE  
- THE CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE OF EROSION CONTROL FEATURES FOR THE DURATION OF THE PROJECT.  
- THE CONTRACTOR SHALL GRADE THE SITE TO PREVENT EROSION WHERE THEY OCCUR AFTER EROSION CONTROL STRUCTURES SHALL BE DE-SILTED.  
- ALL DRAINAGE STRUCTURES SHALL BE DE-SILTED AND MAINTAINED TO PROVIDE POSITIVE DRAINAGE FLOWS AND MINIMIZE EROSION.

10"  $\times 7.3$

2-2  
TYP

36"  $\times 16$ "

10" TH-1

7"  $\times 4.7$

12"  $\times 5.4$

TH-2  $\times 4.6$

$\times 4.6$

$\times 4.4$

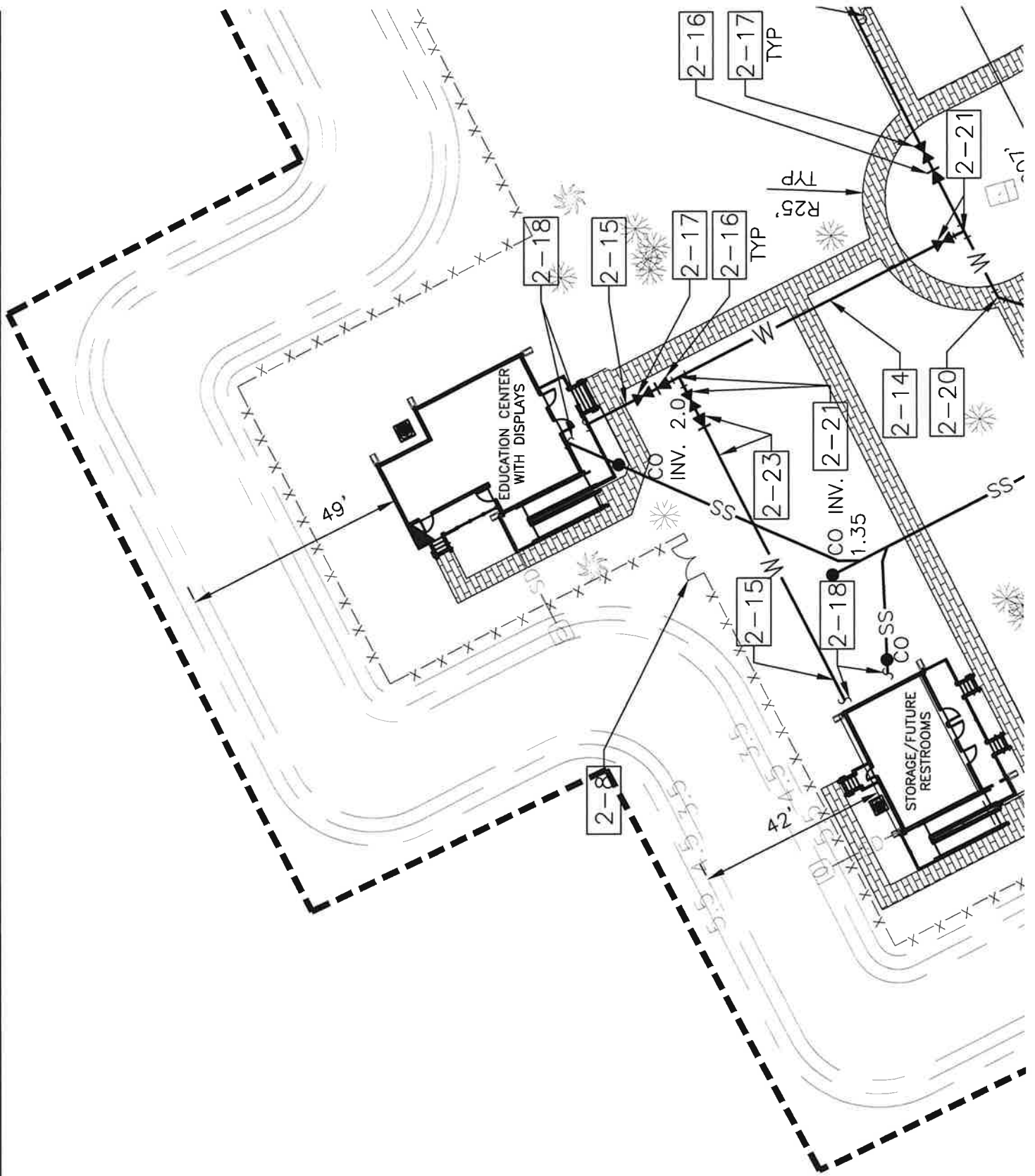
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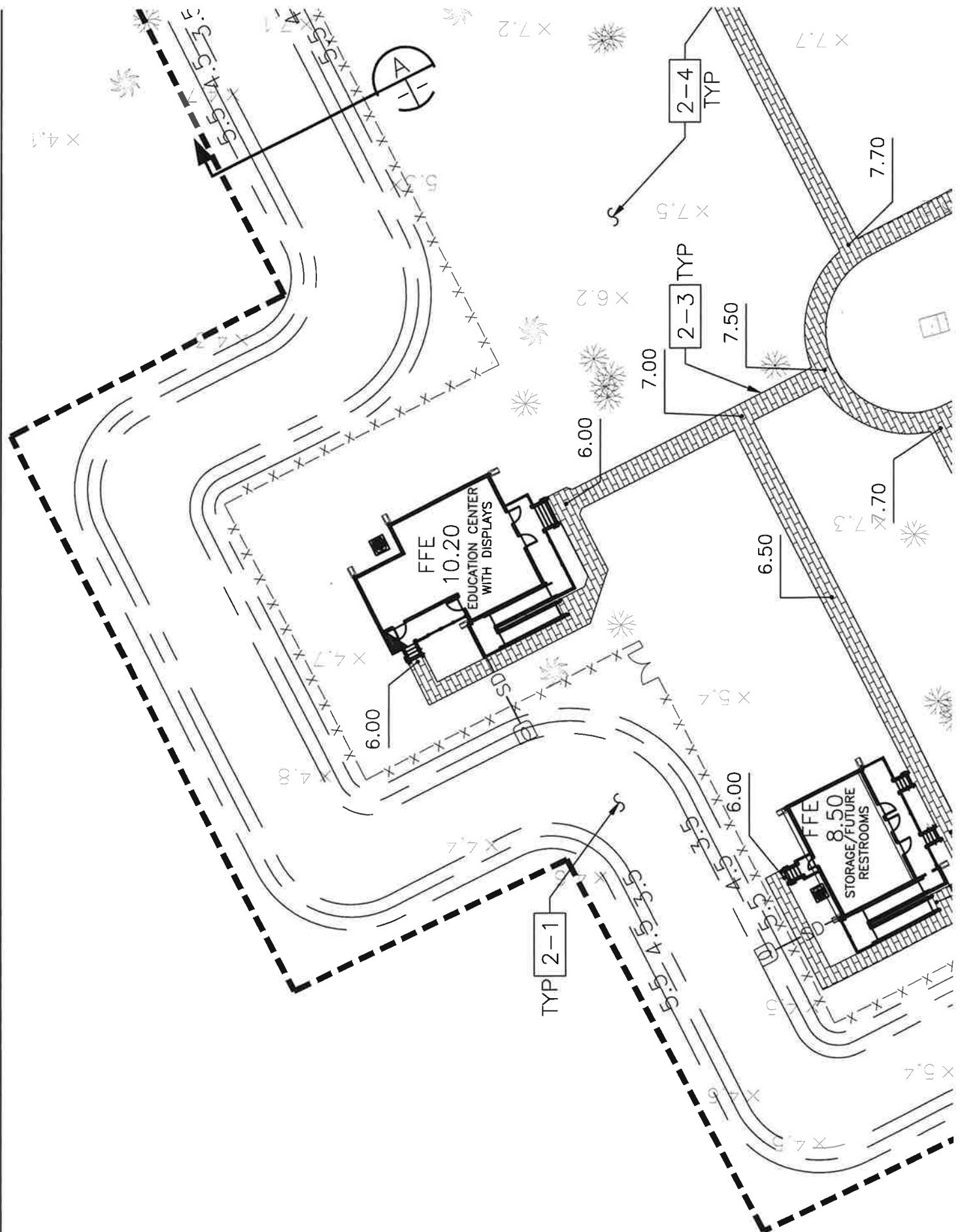
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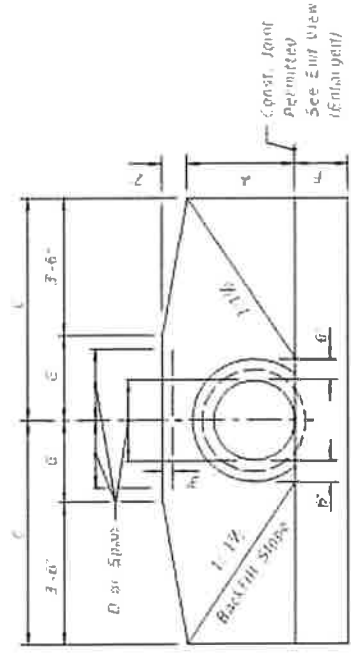
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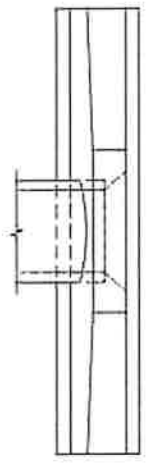
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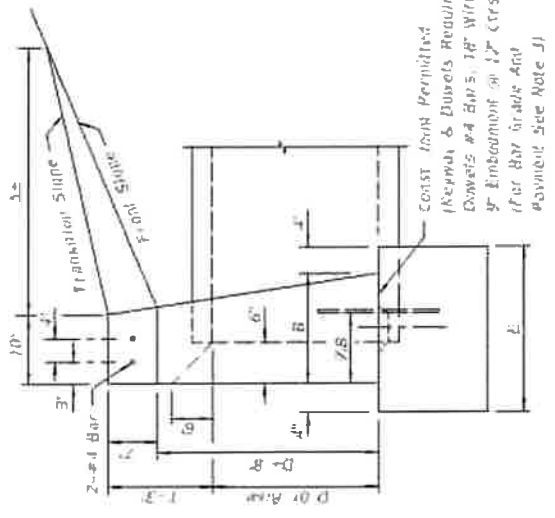




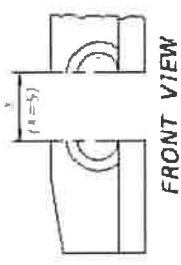
FRONT VIEW



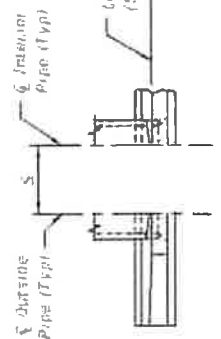
TOP VIEW



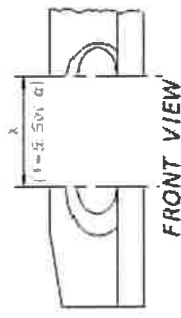
END VIEW (ENLARGED)



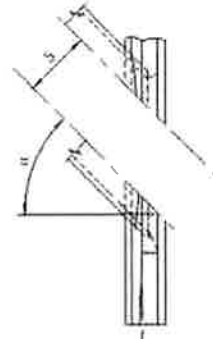
FRONT VIEW



TOP VIEW



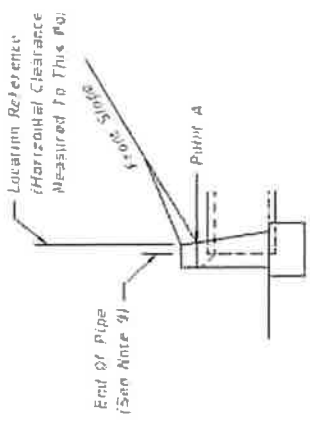
FRONT VIEW



TOP VIEW

# ENDWALL DIMENSIONS (EXCLUSIVE OF MULTIPLE PIPE SPACING)

## STANDARD LOCATION CONTROL



END VIEW

1. Position is set by the intersection of the front slope and Point A where this intersection falls outside the clear zone

2. Where the front slope and Point A intersects inside the clear zone, the endwall is positioned so the location reference point is at the clear zone limit. The front slope is transitioned to the endwall as shown in notes No. 288.

1. PROJECT REPRESENTATIVE REFERRED TO IN THE FOLLOWING SPECIFICATIONS INCLUDE OWNER OR DESIGNATED REPRESENTATIVE, ENGINEER OR MUNICIPALITY OF JURISDICTION FOR SPECIFIED WORK.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL PROJECT SITE PERMITS AND THEIR CONDITIONS AND POST ON-SITE DURING ENTIRE CONSTRUCTION PROJECT UNTIL FINAL CLEARANCE. PERMIT AGENCIES WITH JURISDICTION FOR THIS PROJECT INCLUDE:
  - SJRWMD
  - FDEP
  - CCAFS

1. PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS AT THE DRIP LINE TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
2. REMOVE ALL TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS, AS REQUIRED, TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE SIMILAR ITEMS ELSEWHERE ON SITE OR PREMISES AS SPECIFICALLY INDICATED.
3. CUT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A CLEAN AND CAREFUL MANNER WHERE SUCH ROOTS AND BRANCHES DO NOT OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
4. TOPSOIL IS DEFINED AS FRIABLE CLAY LOAM SURFACE SOIL. SATISFACTORY TOPSOIL IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, STONES, AND OTHER OBJECTS OVER 2 INCHES IN DIAMETER, AND WEEDS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. STRIP TOPSOIL TO WHATEVER DEPTHS ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER OBJECTIONABLE MATERIAL. REMOVE HEAVY GROWTHS OF VEGETATION AND ROOTS FROM AREAS BEFORE STRIPPING.
6. STOCKPILE TOPSOIL IN STORAGE PILES IN AREAS INDICATED OR DIRECTED. CONSTRUCT STORAGE PILES TO PROVIDE FREE DRAINAGE OF SURFACE WATER. COVER STORAGE PILES, IF REQUIRED, TO PREVENT WIND EROSION. TRANSPORT WASTE MATERIALS AND UNSUITABLE TOPSOIL MATERIALS OFF OWNER'S PROPERTY AND DISPOSE OF LEGALLY.
7. TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
8. PROTECTION OF EXISTING IMPROVEMENTS: PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED TO REMAIN IN PLACE. PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
9. AS AN INITIAL EFFORT ON THE CONSTRUCTION SITE THE CONTRACTOR SHALL LOCATE AND FLAG ALL TREES INDICATED TO REMAIN. CONTACT ENGINEER PRIOR TO CLEARING. THE PROJECT SHALL ANTICIPATE THE REMOVAL OF UP TO 10% MORE TREES THAN INDICATED ON THE PLANS PER DIRECTION. AS PART OF THIS INSPECTION, TREES REQUIRING SPECIAL PRUNING SHALL BE IDENTIFIED.
10. WATER TREES AND OTHER VEGETATION TO REMAIN WITHIN LIMITS OF CONTRACT WORK AS REQUIRED TO MAINTAIN THEIR HEALTH DURING COURSE OF CONSTRUCTION OPERATIONS.
11. PROVIDE PROTECTION FOR ROOTS OVER 1" DIAMETER CUT DURING CONSTRUCTION OPERATIONS. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT ROOTS



## CONCRETE

1. ALL CONCRETE STRENGTHS SHALL BE AS FOLLOWS WITH BROOM FINISH UNLESS IDENTIFIED OTHERWISE:  
FOUNDATIONS & SLABS ON GRADE 3000 PSI  
MASONRY GROUT AND UNREINFORCED CONCRETE 3000 PSI
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 (FY=60 KSI).
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED ONE FULL MESH PANEL PLUS 2 IN. AT SIDES AND ENDS AND BE WIRED TOGETHER. FIBER MESH MAY BE SUBSTITUTED PER DIRECTION OF ENGINEER AT REQUEST OF CONTRACTOR.
4. CALCIUM CHLORIDE SHALL NOT BE USED IN ANY FORM.
5. ADDITION OF WATER TO CONCRETE AT THE JOB SITE SHALL BE PROHIBITED.
6. ALL CONCRETE WORK SHALL COMPLY WITH PROVISIONS OF ACI 318, 315, AND 301, LATEST EDITIONS, UNLESS OTHERWISE NOTED.
7. REINFORCING FOR CONTINUOUS FOUNDATIONS AND BEAMS SHALL BE CONTINUOUS AT CORNERS AND INTERSECTIONS. PROVIDE SPLICE BARS AND/OR HOOK ENDS FOR CONTINUOUS REINFORCING.
8. MINIMUM CONCRETE PROTECTION FOR REINFORCING BARS:  
STRUCTURAL ELEMENT MIN CLEAR COVER  
FOOTINGS, (CAST AGAINST & PERMANENTLY EXPOSED TO EARTH) 3 INCHES  
SLABS (IN CONTACT WITH EARTH) 2 INCHES

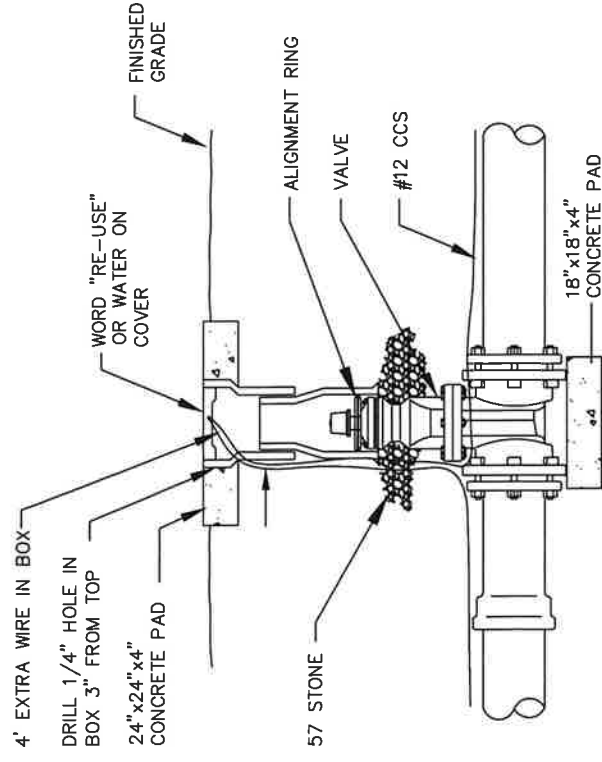
## FDEP WATER SPECIFICATIONS

1. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT WILL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. [FAC 62-555.320(21)(B)], RSWW 8.0, AND AWWA STANDARDS AS INCORPORATED INTO FAC 62-555.330; EXCEPTIONS ALLOWED UNDER FAC 62-555.320(21)(C)]
2. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62-555.320(3)(B), F.A.C. [FAC 62-555.320(3)(B); EXCEPTIONS ALLOWED UNDER FAC 62-555.320(3)(D)]
3. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD. [FAC 62-555.322]
4. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(21)(B)3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ADDITIONAL PIPE WILL BE

## FDEP WASTEWATER SPECIFICATIC

1. APPROPRIATE DEFLECTION TESTS ARE SPECIFIED FC PERMIT AFTER THE FINAL BACKFILL HAS BEEN IF PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM.  
1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, WHICH THE PIPE IS MANUFACTURED; AND 3) PERFORM MECHANICAL PULLING DEVICES. [RSWF 33.85]
2. LEAKAGE TESTS ARE SPECIFIED REQUIRING THAT: 1) INFILTRATION DOES NOT EXCEED 200 GALLONS PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM; TESTS BE PERFORMED WITH A MINIMUM POSITIVE TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE C-828 FOR CLAY PIPE, ASTM C 924 FOR CONCRETE PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE. [RSWF 33.93, 33.94, AND 33.95]
3. DESIGN REQUIRES DROP PIPES TO BE PROVIDED AT ELEVATIONS OF 24 INCHES OR MORE ABOVE THE DIFFERENCE IN ELEVATION BETWEEN THE INCOMING IS LESS THAN 24 INCHES, THE INVERT IS DESIGN SOLIDS DEPOSITION. INSIDE DROP CONNECTIONS (V) TO BE SECURED TO THE INTERIOR WALL OF THE MANHOLE. DESIGN REQUIRES THE ENTIRE OUTSIDE CONCRETE. [RSWF 34.2]
4. DESIGN REQUIRES THAT A BENCH BE PROVIDED ON CHANNEL WHEN THE PIPE DIAMETER(S) ARE LESS THAN NO LATERAL SEWER, SERVICE CONNECTION, C DISCHARGES ONTO THE SURFACE OF THE BENCH. DESIGN REQUIRES: 1) MANHOLE LIFT HOLES AND (SEAL) WITH NON-SHRINKING MORTAR OR OTHER AND OUTLET PIPES BE JOINED TO THE MANHOLE WATER TIGHT CONNECTION OR ANOTHER WATER TIGHT CONNECTIONS ALLOWED SETTLEMENT OF THE PIPE AT WATER TIGHT MANHOLE COVERS BE USED WHEREVER FLOODED BY STREET RUNOFF OR HIGH WATER. [RSW 34.2] MANHOLE INSPECTION AND TESTING FOR WATER TIGHT PLACING INTO SERVICE ARE SPECIFIED. AIR TESTING SEWER MANHOLES, CONFORMS TO THE TEST PROCEDURE C-1244. [RSWF 34.7]
7. THE DESIGN REQUIRES 1) ELECTRICAL SYSTEMS AN LIGHTS, CABLES, CONDUITS, SWITCH BOXES, CONTR WASTEWATER WET WELLS, OR IN ENCLOSED OR PAZ HAZARDOUS CONCENTRATIONS OF FLAMMABLE GASES COMPLY WITH THE NATIONAL ELECTRICAL CODE RECD, DIVISION 1 LOCATIONS; 2) ELECTRICAL EQUIPMENT SUITABLE FOR USE UNDER CORROSIVE CONDITIONS PROVIDED WITH A WATER TIGHT SEAL AND SEPARATE DISCONNECT SWITCH LOCATED ABOVE GROUND BE FEED FOR ALL PUMP STATIONS; 5) ELECTRICAL EQUIPMENT MEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT LISTED IN THE FOLLOWING TABLE TO FACILITATE MAINTENANCE

# GATE VALVE AND VALVE BOX DETAIL NTS



## NOTES:

1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. IF THE DEPTH OF THE VALVE NUT IS GREATER THAN 48" BELOW GRADE, OR 30" BELOW GRADE AND UNDER THE WATER TABLE, A VALVE EXTENSION WILL BE REQUIRED. SEE VALVE EXTENSION STEM DETAIL.
3. PROVIDE A PLASTIC DEBRIS SHIELD/ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 24" ABOVE TOP OF COLLAR. WIRE SHALL BE COLORED TO MATCH THE UTILITY

1.1	SCOPE OF WORK	PORTABLE CHANGEABLE MESSAGE SIGNS PRECAUTIONARY BOIL WATER NOTICE – F PROJECT MANAGER – PM POUNDS PER SQUARE INCH – PSI RAISED PAVEMENT MARKER – RPM REDUCED PRESSURE ZONE ASSEMBLY – REINFORCED CONCRETE PIPE – RCP STAINLESS STEEL – SS TECHNICAL PROVISION AND STANDARD DE TRAFFIC CONTROL PLAN – TCP UNDERWRITERS LABORATORIES – UL UNIFIED NUMBERING SYSTEM – UNS UTILITIES DEPARTMENT – UD VARIABLE FREQUENCY DRIVE – VFD
1.1.1	GENERAL	
	ALL POTABLE WATER AND RECLAIMED WATER MAINS AND APPURTENANCES MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF COCOA UTILITIES DEPARTMENT'S TECHNICAL PROVISIONS AND STANDARD DETAILS, THE CITY OF COCOA UTILITIES DEPARTMENT UTILITIES HANDBOOK AND THE APPROVED PLANS, FOR THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM AND THE WATER RECLAMATION SYSTEM. CONTRACTOR REQUIREMENTS INCLUDE:	
	<ul style="list-style-type: none"> <li>FURNISHING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY OR INCIDENTAL TO THE CONSTRUCTION.</li> </ul>	
	<ul style="list-style-type: none"> <li>OBTAINING AND PAYING FOR ALL PERMITS, INSPECTIONS, AND OTHER OFFICIAL FEES IN CONNECTION WITH THE WORK.</li> </ul>	
	<ul style="list-style-type: none"> <li>ARRANGING A PRE-CONSTRUCTION CONFERENCE WITH THE ENGINEERING INSPECTION DIVISION. ALL FEES MUST BE PAID PRIOR TO PRE-CONSTRUCTION MEETING. IT IS REQUIRED THAT THE PRE-CONSTRUCTION MEETING BE HELD PRIOR TO ORDERING MATERIALS.</li> </ul>	
	<ul style="list-style-type: none"> <li>SCHEDULING MATERIALS INSPECTION (24 HOURS NOTICE), OPEN DITCH INSPECTION, PRESSURE/LEAKAGE TEST, AND FINAL INSPECTION.</li> </ul>	
	<ul style="list-style-type: none"> <li>PROVIDE ALL DOCUMENTS PER THE PROJECT REQUIREMENT LETTER, INCLUDING BUT NOT LIMITED TO AS BUILT DRAWINGS, BILLS OF SALE, EASEMENTS, ETC.</li> </ul>	
	ANY DEVIATION FROM THESE REQUIREMENTS MUST BE APPROVED IN WRITING BY THE UTILITIES DIRECTOR OR HIS DESIGNEE PRIOR TO COMMENCEMENT OF CONSTRUCTION.	
	FEES CHARGED BY THE CITY ARE SET BY CITY COUNCIL BY RESOLUTION AND ARE LISTED ON THE APPENDIX "WATER SERVICE RATES AND CHARGES" MADE A PART OF THE UTILITIES HANDBOOK. FEES ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE MOST CURRENT FEES WILL BE CHARGED.	
	THE UTILITIES DEPARTMENT AND ENGINEERING DIVISION ARE LOCATED AT 351 SHEARER BLVD., COCOA, FLORIDA, 32922. THE DISPATCH TELEPHONE NUMBER IS (321) 433-8718; FACSIMILE NUMBER IS (321) 433-8708.	
1.1.2	DEFINITIONS	
	THE TERM "APPROVED EQUAL" IS USED TO MEAN A PART OR ITEM THAT HAS BEEN APPROVED IN WRITING BY THE TECHNICAL PROVISION AND STANDARD DETAILS ADVISORY COMMITTEE OR THE UTILITIES DIRECTOR. A WRITTEN REQUEST MUST BE MADE IN ORDER TO HAVE AN ITEM ACCEPTED AS AN APPROVED EQUAL. WRITTEN SPECIFICATIONS ON THE PART OR ITEM MUST BE FURNISHED WITH THE REQUEST.	
	APPROVED TAPPING/LINESTOP CONTRACTOR – A CONTRACTOR WHO HAS BEEN APPROVED BY THE ENGINEERING DIVISION TO PERFORM TAPS OR LINESTOPS WITHIN THE COCOA WATER SYSTEM. SOME CONTRACTORS ARE ONLY ALLOWED TO PERFORM .75" – 2.00" TAPS FOR THEMSELVES ON THEIR ON PROJECTS, THEY MAY NOT PERFORM TAPS FOR ANYBODY ELSE.	
	BACKFLOW PREVENTER ASSEMBLY – A BACKFLOW ASSEMBLY IS AN APPROVED, TESTABLE ASSEMBLY COMPOSED OF TWO INDEPENDENTLY ACTING, APPROVED CHECK VALVES, INCLUDING TIGHTLY CLOSING RESILIENT SEATED SHUTOFF VALVES ATTACHED AT EACH END OF THE ASSEMBLY AND FITTED WITH	
1.2	MATERIAL SPECIFICATIONS	
1.1.1	PIPE	
1.2.1.1	POLYVINYL CHLORIDE PRESSUR	
	POLYVINYL CHLORIDE PRESSURE PIPE (S PIPE EQUIVALENT OUTSIDE DIAMETER CLA AMERICAN WATER WORKS ASSOCIATION'S BLUE OR WHITE IN COLOR. PIPE WILL BE JOINTS WILL BE OF THE ELASTOMERIC-G SOLID-WALL BELL OR COUPLING WITH TH AND COUPLINGS WILL BEAR THE UL LAB WATER.	
1.2.1.2	FUSIBLE POLYVINYL CHLORIDE	
	POLYVINYL CHLORIDE PRESSURE PIPE (S PIPE EQUIVALENT OUTSIDE DIAMETER AND 18) CONFORMING TO AWWA SPECIFICATION COLOR. FUSIBLE PVC PIPE SHALL BE SL SHALL BE INSTALLED IN ACCORDANCE WI PVC PIPE WILL BEAR THE UL LABEL AND	
1.2.1.3	DUCTILE IRON PIPE	
	DUCTILE IRON PIPE WILL BE CEMENT-LIN DIAMETER AND SMALLER AND CLASS 250 AWWA SPECIFICATION C151. WATER MAIN WILL BE PROPERLY DESIGNED BY THE P UTILITIES DEPARTMENT PRIOR TO INSTALL FEET APART FROM BUILDING FOUNDATION DUCTILE IRON PIPE. IN NO CASE WILL W FROM FOUNDATIONS. THE ABOVE DISTANC THAN 8" IN DIAMETER. POLYETHYLENE SI C105 WILL BE PROVIDED FOR ALL INSTA SEALED WITH TAPE, AND SHALL BE BLUE	

#### 1.5.5 LOCATING WIRE (CONTINUED)

THE CCS WIRE SHALL MEET THE FOLLOWING REQUIREMENTS. HDPE INSULATION OF 30 MILS, #12 AWG CONDUCTOR, MAXIMUM OHMS RESISTANCE OF 7.565 OHMS PER 1000 FT., BREAKING LOAD 256 LBS.

WHEN DIRECTIONAL DRILLING IS USED, ONE CONTINUOUS #12 CCS EXTRA HIGH STRENGTH LOCATOR WIRE SHALL BE INSTALLED. THE CCS WIRE SHALL MEET THE FOLLOWING REQUIREMENTS. HDPE INSULATION OF 45 MILS, #12 AWG CONDUCTOR, MAXIMUM OHMS RESISTANCE OF 7.565 OHMS PER 1000 FT., BREAKING LOAD 1150 LBS.

#### 1.5.6 SERVICE LINE LOCATION

SERVICE LINES WILL BE LOCATED AT ALTERNATING LOT LINES OUTSIDE THE SIDEWALK WITHIN TWO FEET OF THE RIGHT-OF-WAY LINE AS SHOWN ON APPROVED PLANS OR IN A GRASSED AREA BEHIND THE CURB IF LOCATED IN OTHER THAN A SUBDIVISION.

RECLAIMED SERVICE LINE IS TO BE LOCATED ADJACENT TO SEWER CLEANOUTS.

#### 1.5.7 BACKFILLED MATERIAL AND INSPECTION

ALL BACKFILLING MATERIAL WILL BE FREE FROM CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATERIAL, BOULDERS, ROCKS, STONES, OR OTHER MATERIAL WHICH IS CONSIDERED UNSUITABLE. WHEN BACKFILL MATERIAL IS NOT SPECIFIED ON THE PLANS, BACKFILLING WITH THE EXCAVATED MATERIAL MAY BE ACCEPTABLE PROVIDED THAT SUCH MATERIAL IS SUITABLE FOR BACKFILLING. PIPE SHOULD BE BACKFILLED AS SOON AS POSSIBLE TO MINIMIZE THE LENGTH OF OPEN TRENCH. PIPE JOINTS, VALVES, FITTINGS, AND THRUST BLOCKS WILL BE LEFT UNCOVERED UNTIL INSPECTION BY THE UTILITIES DEPARTMENT HAS BEEN COMPLETED.

#### 1.5.8 VALVES AND FITTINGS

ALL VALVES AND FITTINGS WILL BE SET AND JOINED TO THE PIPE IN THE PROPER LOCATION AS SHOWN ON THE PLANS. VALVES SHOULD BE INSTALLED OUTSIDE OF THE PAVEMENT WHERE PRACTICAL. A ROADWAY VALVE BOX WILL BE PROVIDED FOR EVERY VALVE. THIS VALVE BOX MUST NOT TRANSMIT SHOCK OR STRESS TO THE VALVE. VALVE WILL HAVE ALIGNMENT RING INSTALLED AND VALVE BOX CENTERED AND PLUMB OVER THE WRENCH NUT OF THE VALVE. THE BOX COVER IS TO BE FLUSH WITH THE SURFACE OF THE FINISHED PAVEMENT OR GRADE LEVEL AS SPECIFIED IN THE PLANS. A 24" SQUARE CONCRETE PAD 4" IN THICKNESS WILL BE POURED AROUND THE VALVE BOX WHEN IT IS LOCATED OUTSIDE OF PAVEMENT. A BRONZE OR STAINLESS STEEL DISC WILL BE CAST INTO THE PAD FOR ALL VALVES 12" OR LARGER. VALVE NOMENCLATURE TO BE STAMPED INTO THE DISC WILL INCLUDE THE VALVE SIZE, TYPE, MANUFACTURER'S INITIALS, NUMBER OF TURNS, AND DIRECTION TO OPEN THE VALVE. (EXAMPLE: 12" G.V. U.S.P. 20 C.C.W.)

ALL VALVES WILL BE LOCATED WITHIN TWO FEET OF THE TEE, SEE DETAIL GATE VALVE AND FITTING DETAIL.

WHEN SOLID SIFTEVES OR COUPLINGS ARE USED TO JOIN/TIE-IN PIPELINES A

2. THE HDD CONTRACTOR SHALL FOLLOW THE MINIMUM CLEARANCE BELOW FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF WATER MAINS 12" AND GREATER MINIMUM CLEARANCE WATER MAINS 10" AND LESS MINIMUM CLEARANCE IS

3. THE HDD CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL UTILITIES IN ACCORDANCE WITH CHAPTER 556 OF THE F

4. THE HDD CONTRACTOR SHALL NOTIFY THE CITY OF COCOA II DIVISION 48 HOURS IN ADVANCE OF THE BORE AND NOTIFY PERMITTING AGENCY PER THE CONDITIONS OF THE PERMIT.

#### ENGINEERING INSPECTOR:

1. AN APPROVED COPY OF THE BORE PLAN WILL BE GIVEN TO INSPECTION DIVISION.

2. THE INSPECTOR FOR THE PROJECT WILL HAVE A COPY OF 1 AT THE PROJECT SITE.

1. PRIOR TO THE HDD THE INSPECTOR SHALL VERIFY THAT THE PROJECT SITE FOR THE DIRECTIONAL BORE ARE IN ACCORDANCE WITH THE CITY OF COCOA'S LATEST TECHNICAL PROVISIONS AND

1. THE ENGINEERING INSPECTOR SHALL VERIFY THE FOLLOWING COMMENCEMENT OF THE HDD:

A. VERIFY THAT THE HDD CONTRACTOR HAS OBTAINED HIS/HE LOCATES.

B. VERIFY THAT ALL UTILITIES HAVE BEEN VISUALLY SPOTTED BY CONTRACTOR.

C. VERIFY THAT THE PERMITTING AGENCY HAS BEEN NOTIFIED

D. WITNESS THE CALIBRATION OF THE SONDE.

2. THE INSPECTOR SHALL REMAIN AT THE PROJECT SITE UNTIL THE HDD. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO ALL OF THE FOLLOWING:

– ENGINEERING SUPERVISOR

– ENGINEERING TECHNICIAN

– INSPECTION SUPERVISOR

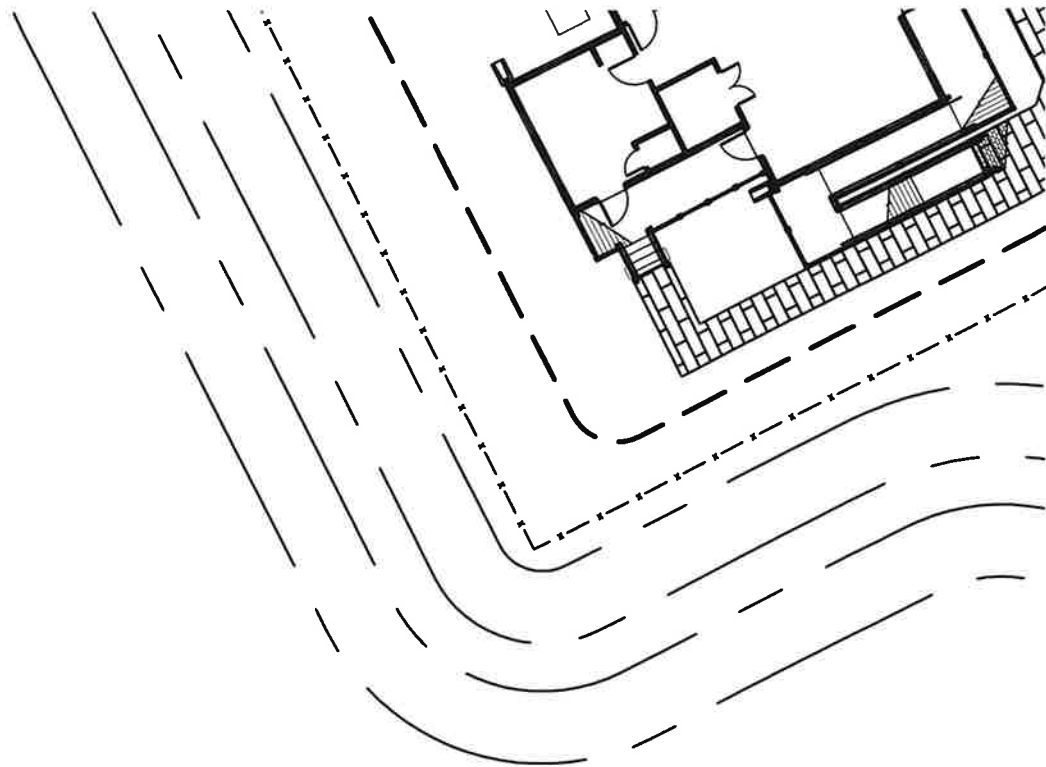
ONCE THE ABOVE PERSONS HAVE BEEN NOTIFIED BY THE INSPECTOR, PROPER AUTHORITY WILL BE NOTIFIED FOR CORRECTIVE ACTION.

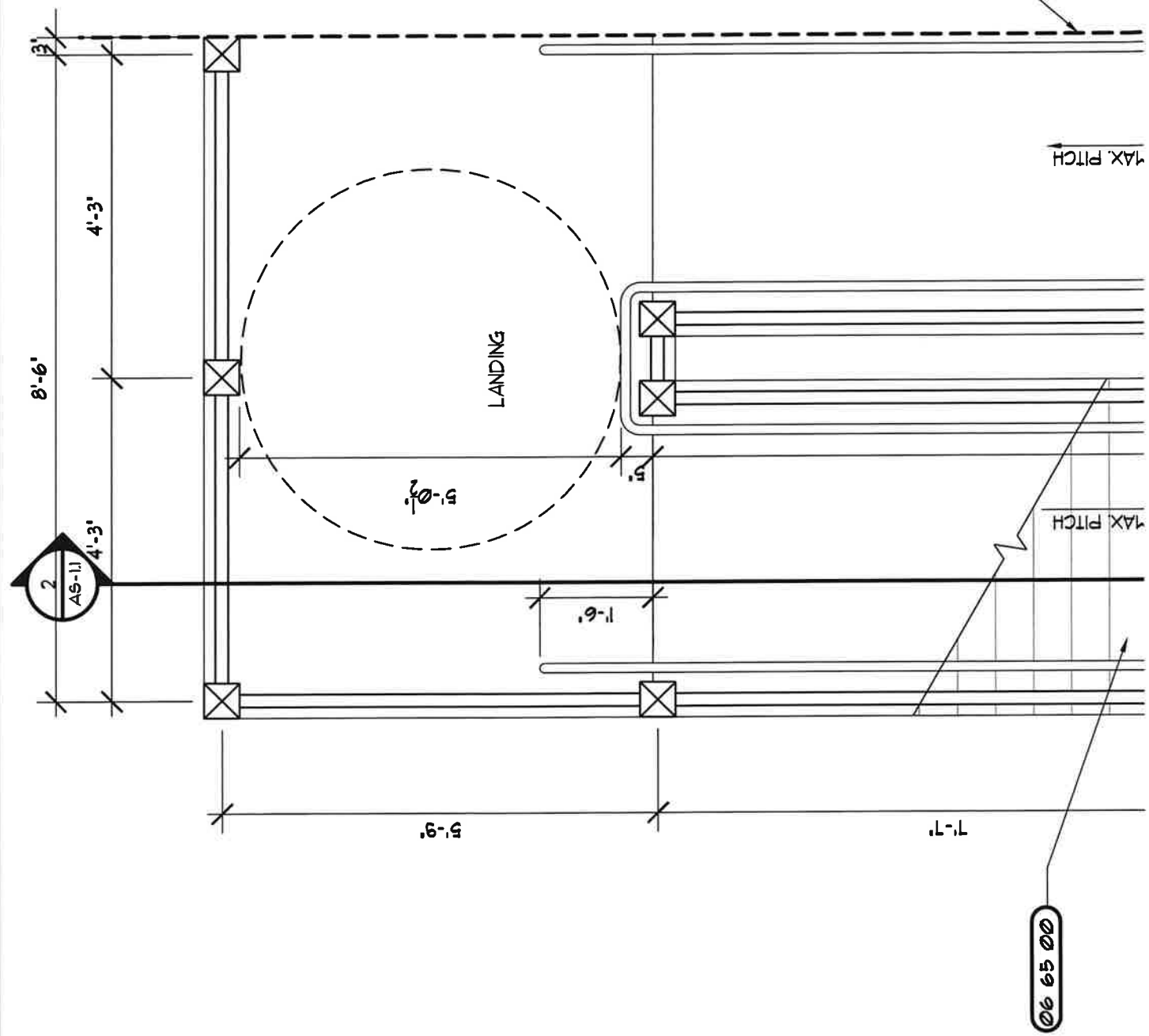
COMPLETION OF THE BORE:

1. A BORE LOG SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR COMPLETION OF THE BORE.

#### 1.5.14 BLOWOFFS

FLUSHING BLOW-OFFS ARE TO BE INSTALLED AND CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAIL SHEET. BLOW-OFF MATERIALS INCLUDE 2" NIPPLES, BRASS THREADED FITTINGS, 2" BRASS ANGLE WHEEL VALVE, PLASTIC METER BOX (PURPLE FOR RECLAIMED). THE PLASTIC METER BOX IS TO BE INSTALLED AT GRADE OVER THE WHEEL VALVE. THE ANGLE VALVE





BUILDING OUTLINES SEE  
FLOOR PLANS FOR  
RAMP LOCATIONS.

MAX. PITCH

MAX. PITCH

06 65 00

4E  
AS-

06 10 E

05 52 0  
SIMPSON (SIMPSON)  
FLANGE (FLANGE)  
G (G)  
HANGERS (HANGERS)  
LOCATION (LOCATION)

-2'-6"  
GRAT

06 10 E

06 10 E

5  
AS-





# ATTACHMENT

## 90% DRAWINGS AND SPECIFICATIONS

- Drawings-1.pdf

General Phase 1 and Phase 2 Drawings

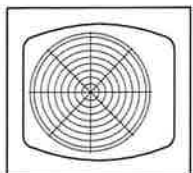
- Drawings-2.pdf

Drawings for Replica Cottage and Education Cottage  
(Lighthouse Experience)

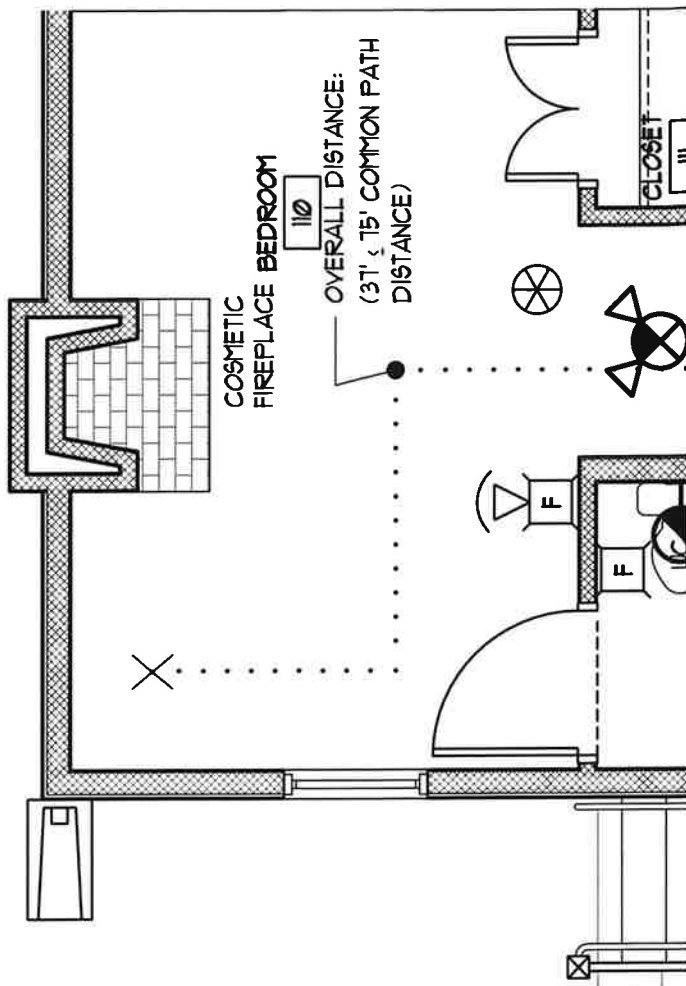
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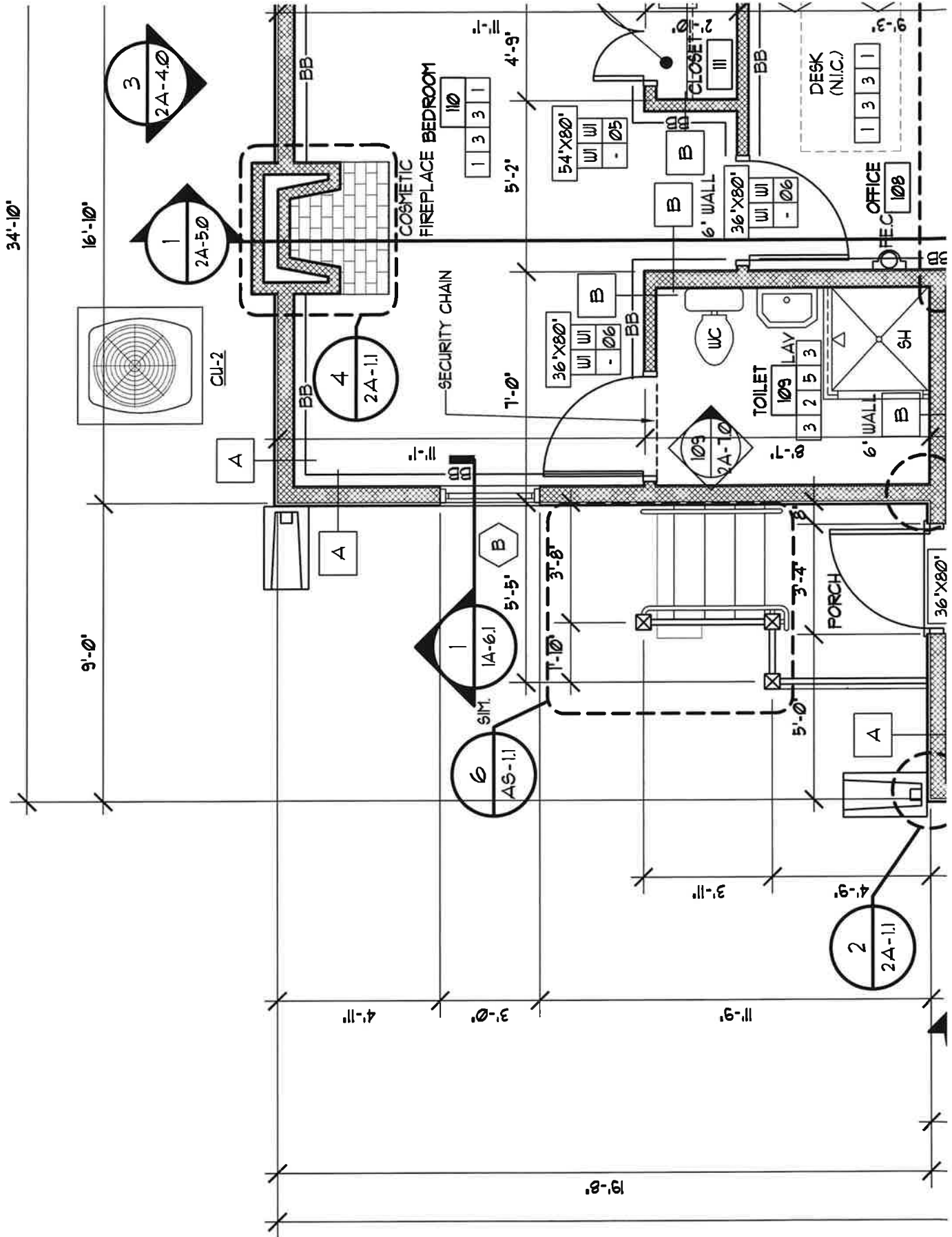
General Phase 1 and Phase 2 Specifications and Details

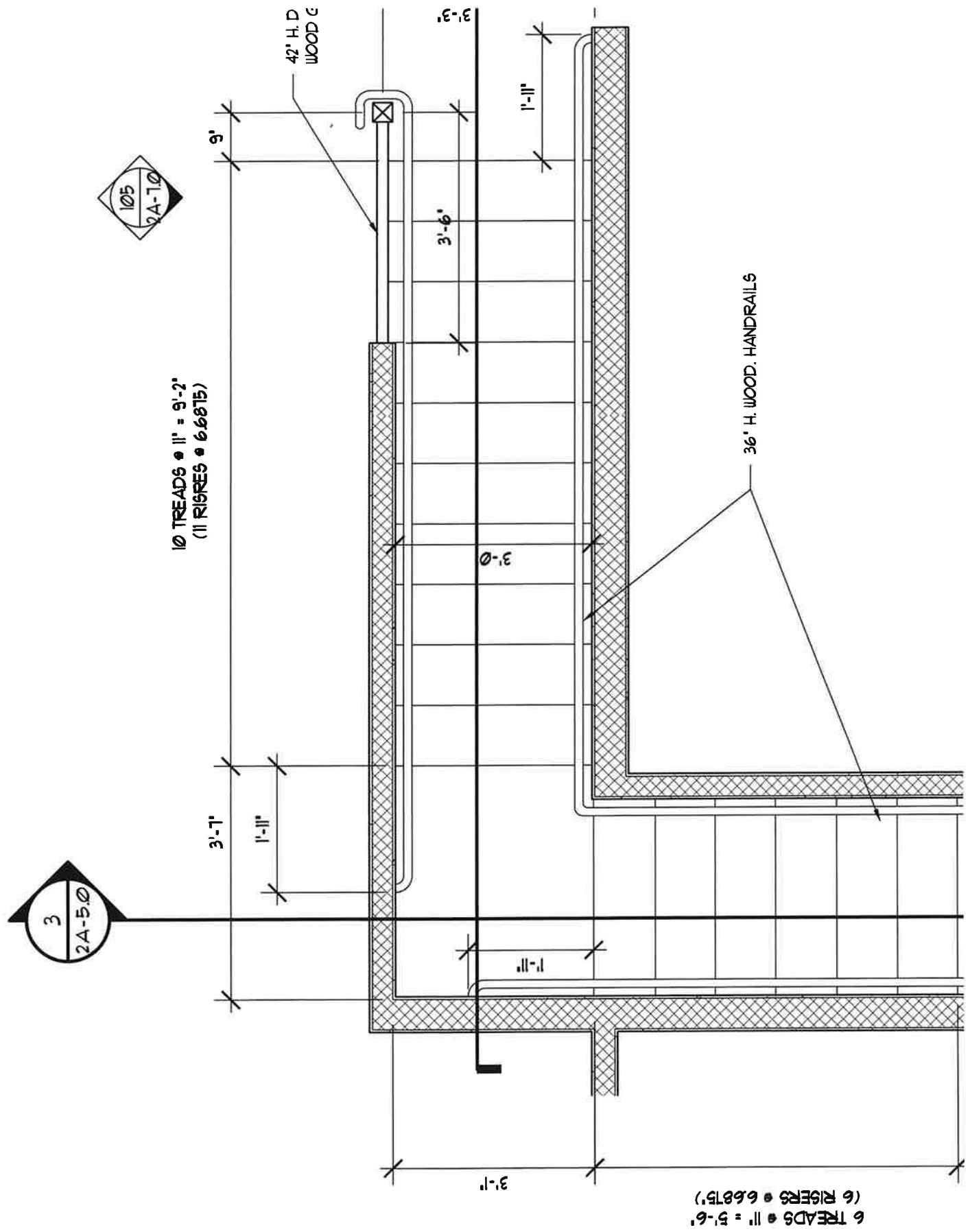
*Note: all drawings and specifications for both Phase 1 and Phase 2 were done at the same time. To simplify for this grant request, drawings only for Phase 1 buildings have been removed.*

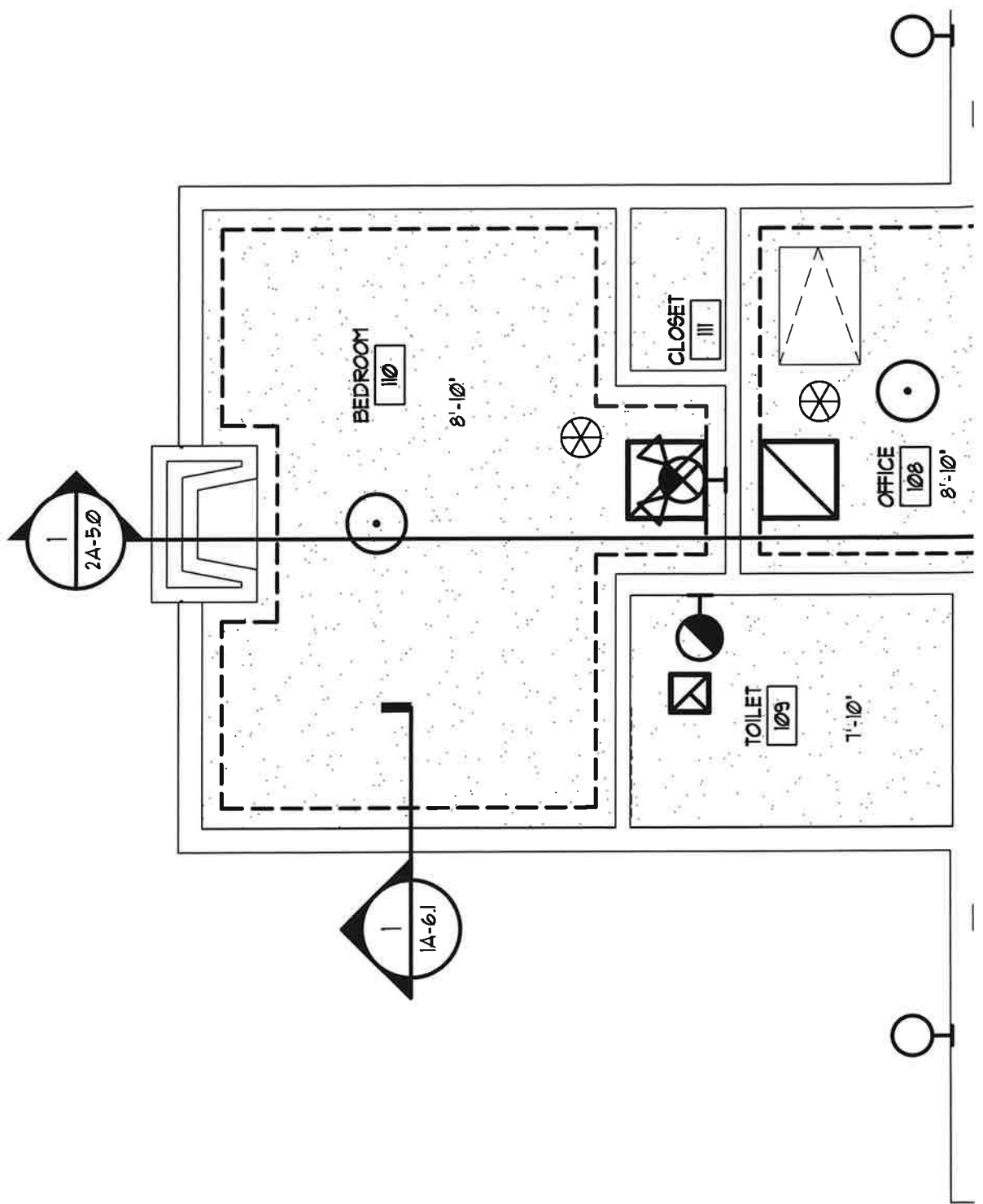


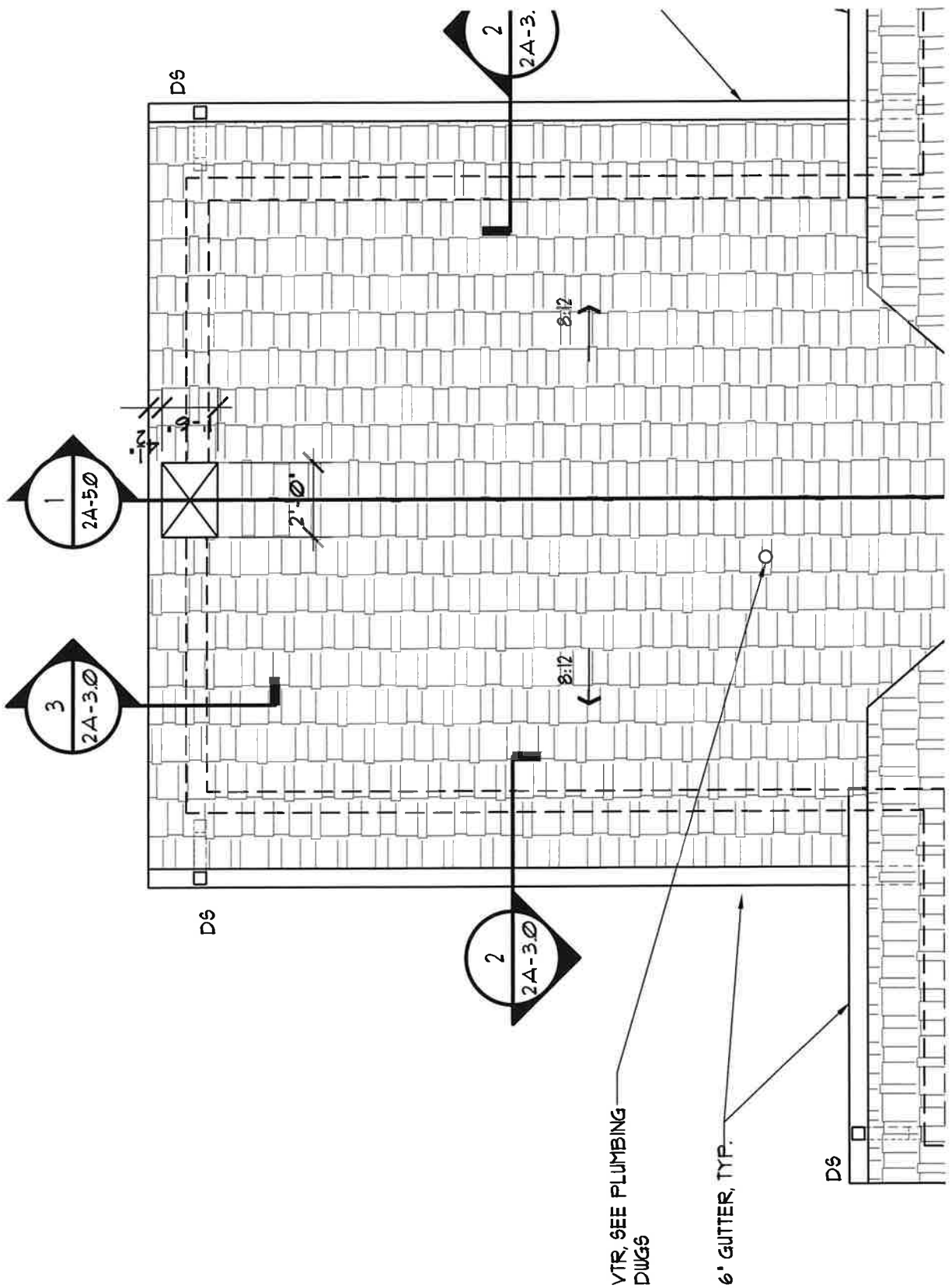
CU-2















Ø9 24 ØØ  
STUCCO BRICK  
PATTERN

Ø7 31 13

Ø7 71 23

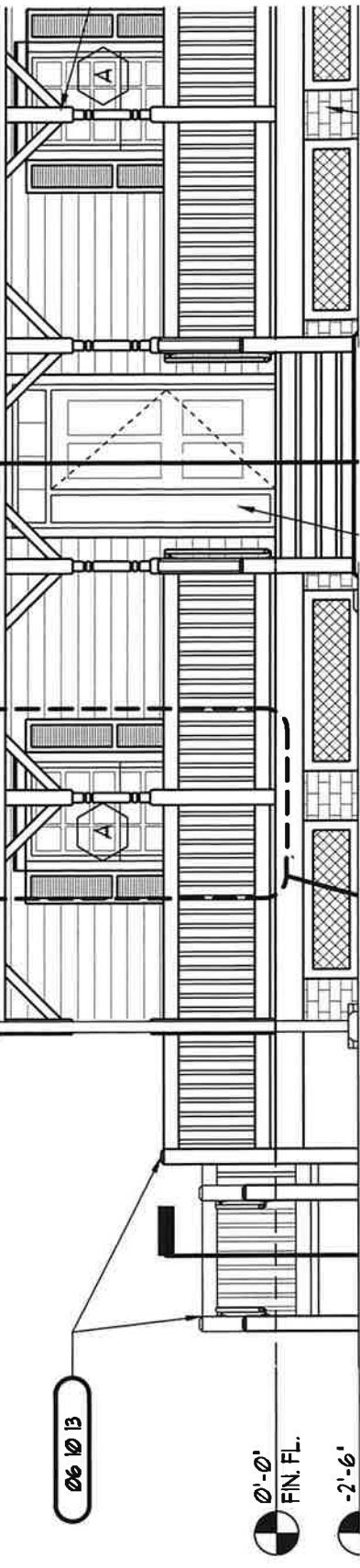
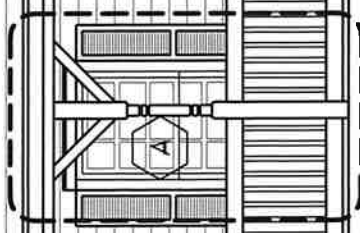
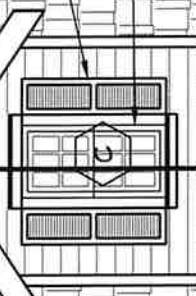
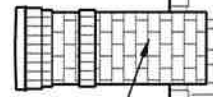
12'-4"  
ROOF BEARING

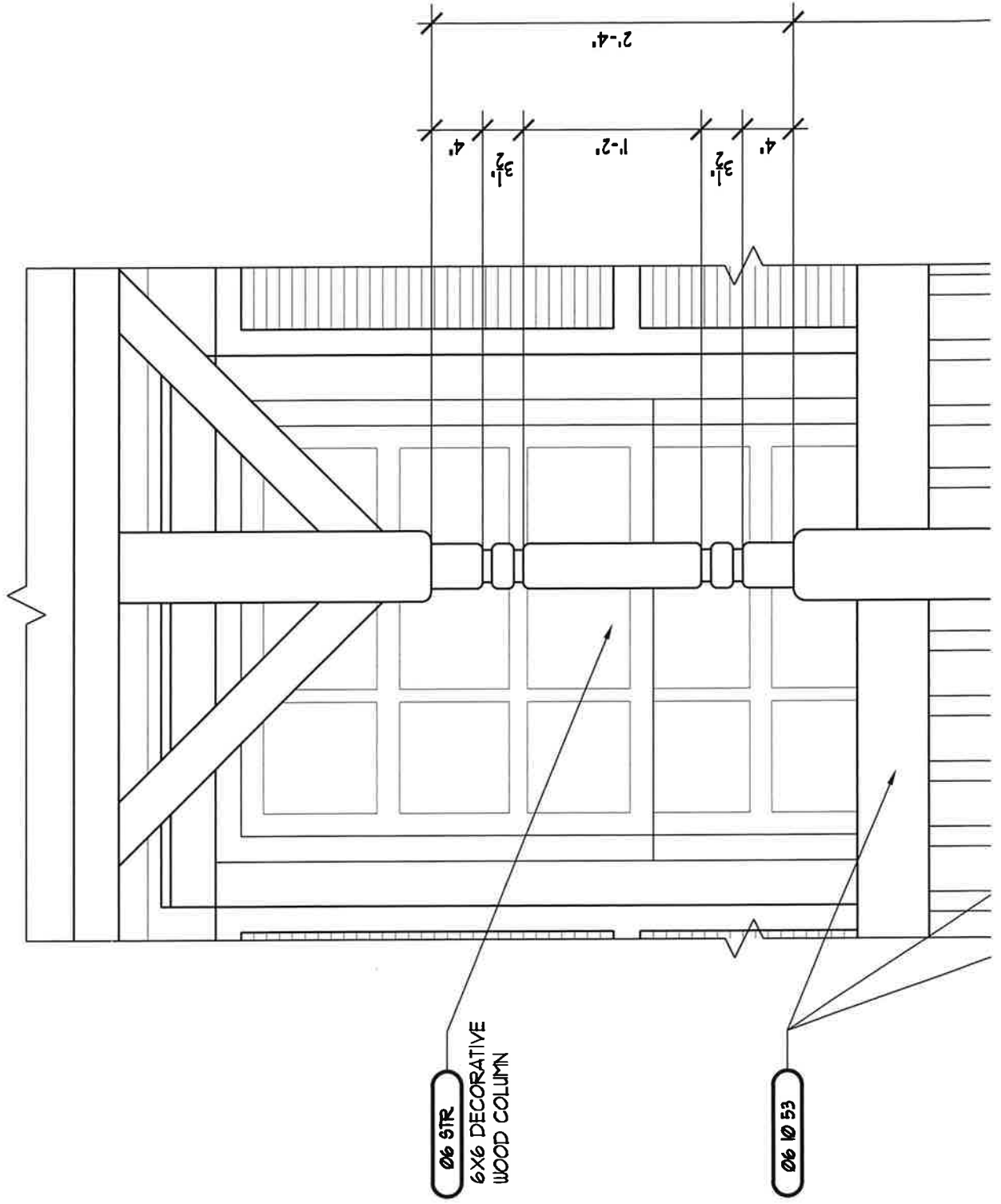
10'-0"  
2ND FLOOR

Ø6 10 13

Ø'-0"  
FIN. FL.

-2'-6"





4  
2A-3Ø

Ø6 STR  
5/8' PLYWOOD

Ø7 21 19

9'-0"  
ROOF BRG. HGT.

Ø'-0"  
T.O. 1ST FL.

-2'-6"

3  
2A-8.1

OFFICE  
108

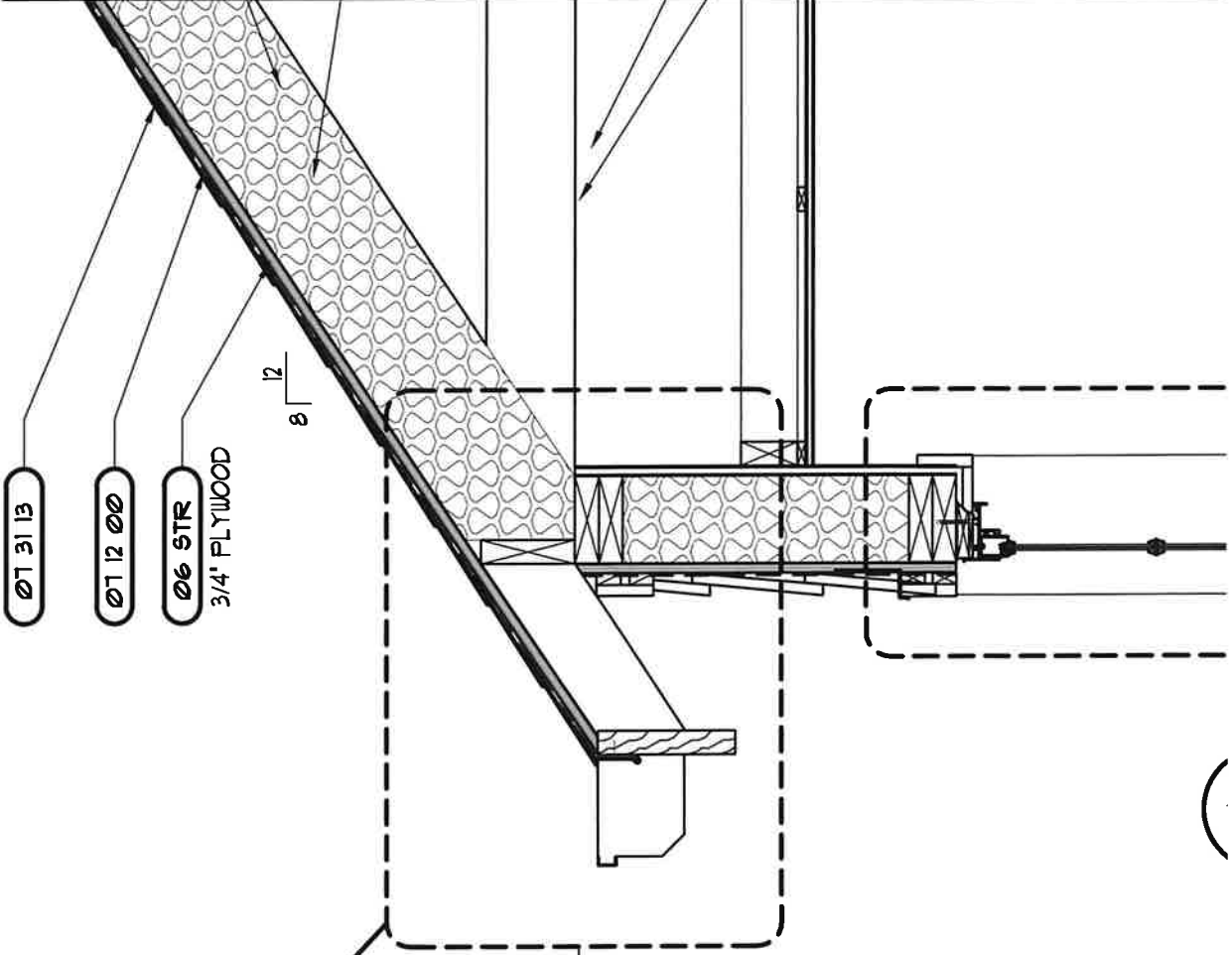
BEDROOM  
110

Ø9 29 ØØ  
5/8' GYPBOARD

6  
2A-6Ø

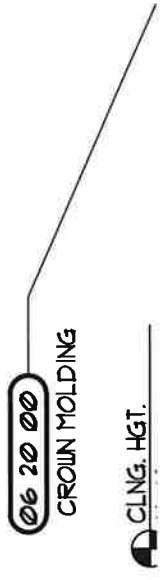
PANTR  
106

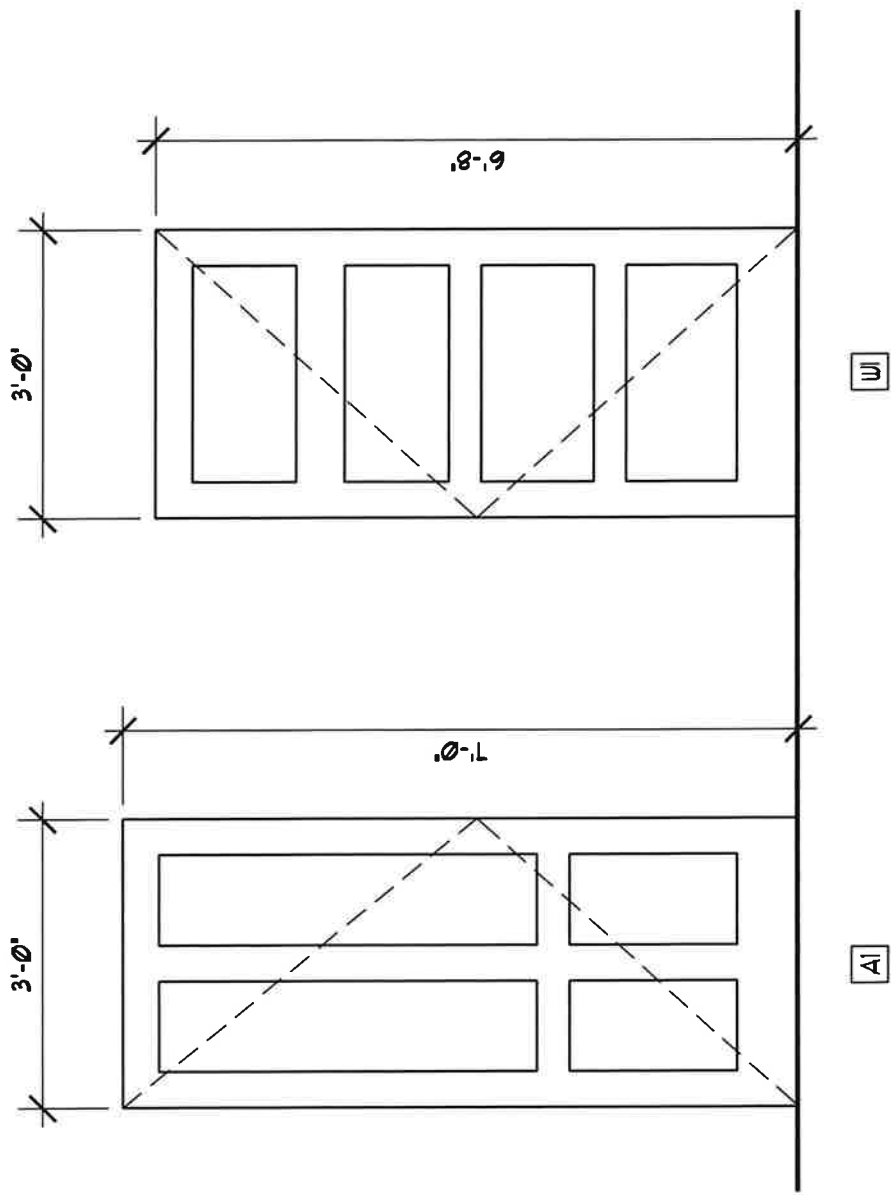
- Ø1 31 13
- Ø1 21 19
- Ø6 STR  
PRE ENGINEERED  
TRUSSES
- Ø9 29 00
- 3'-0"  
ROOF BRG. HGT.
- Ø9 29 00
- Ø6 10 13  
1X FURRING AT  
16' O.C.



2  
2A-30

3'-0"  
ROOF BRG. HGT.

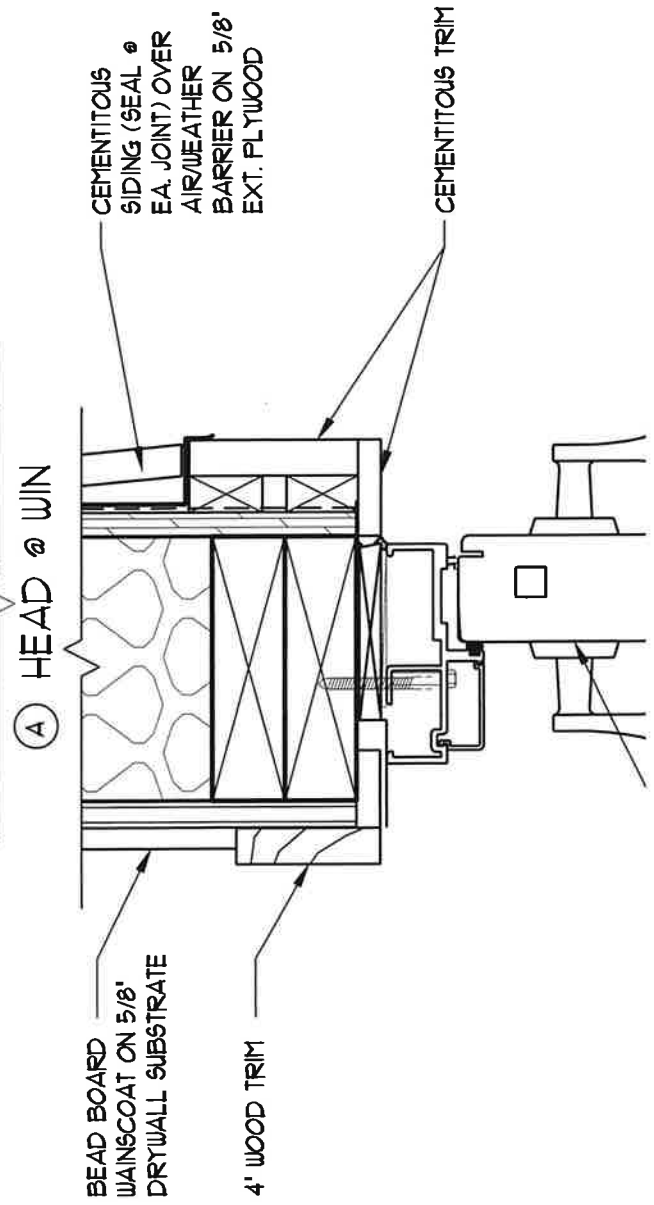
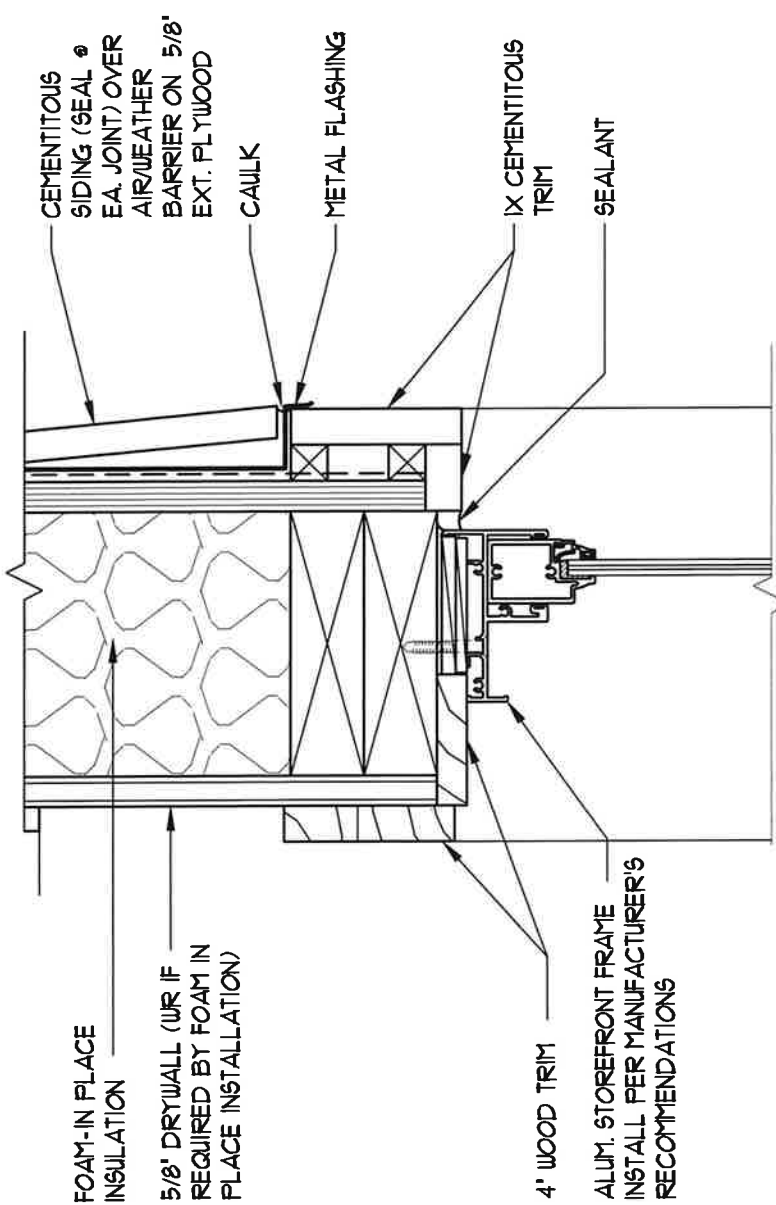




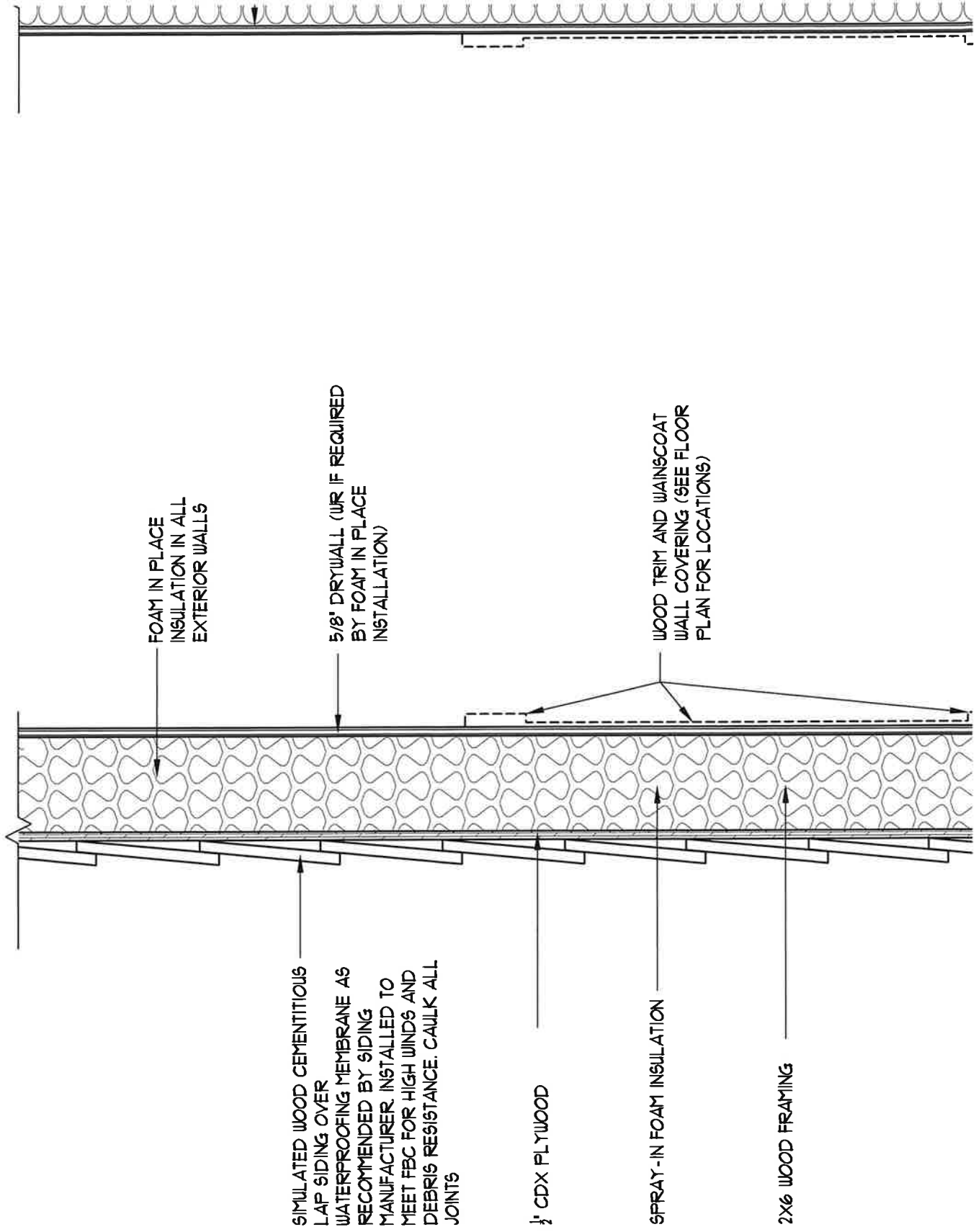
# DOOR TYPES

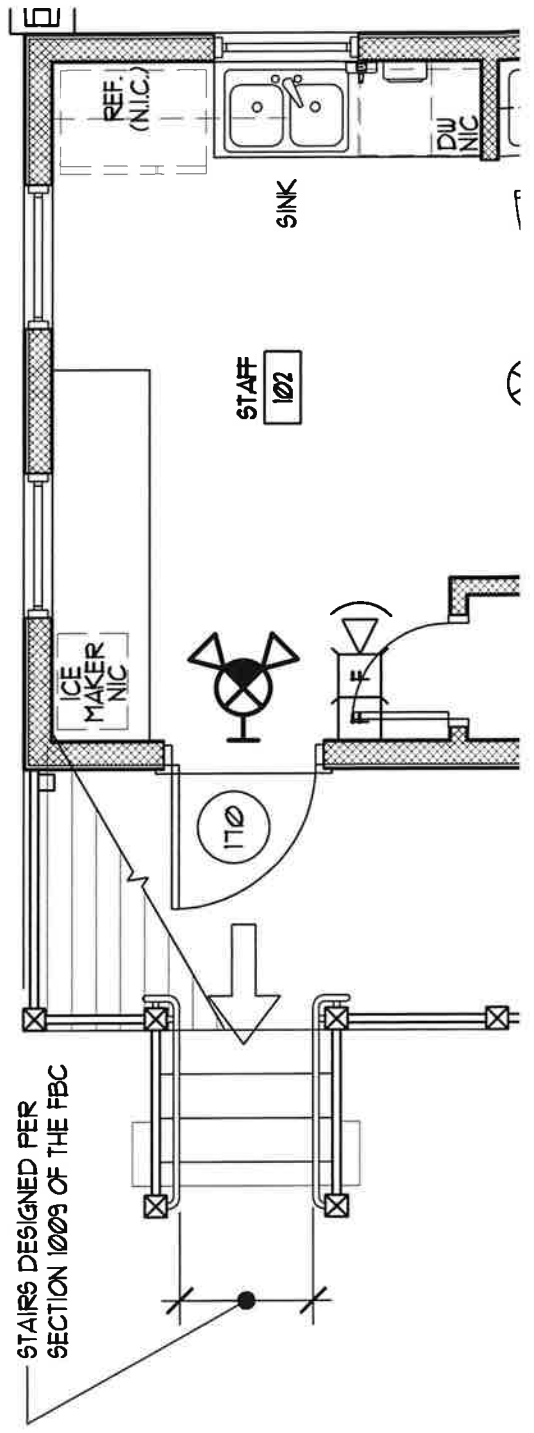
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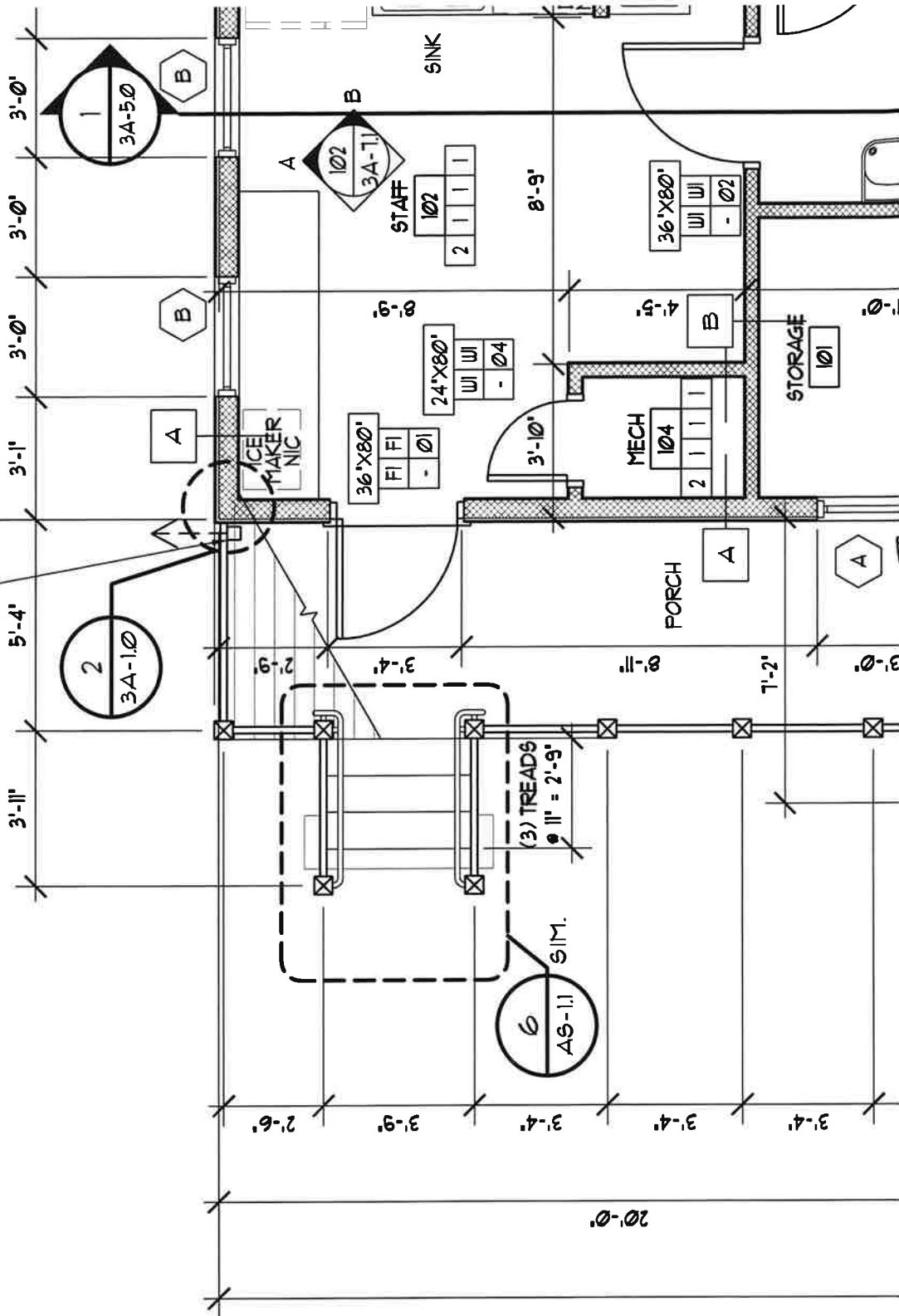


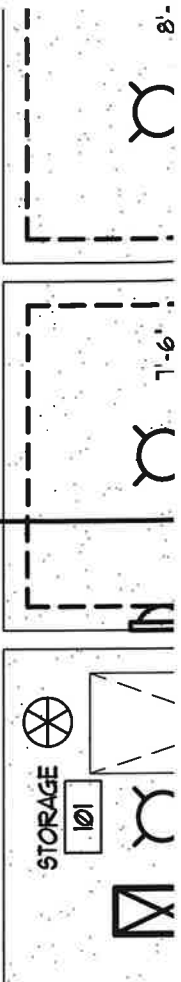
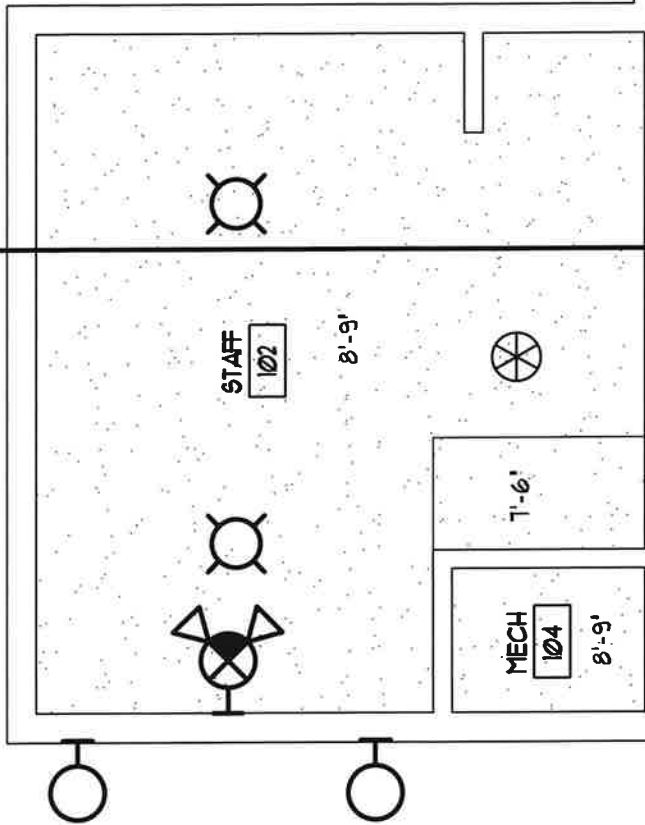


(A) HEAD @ WIN

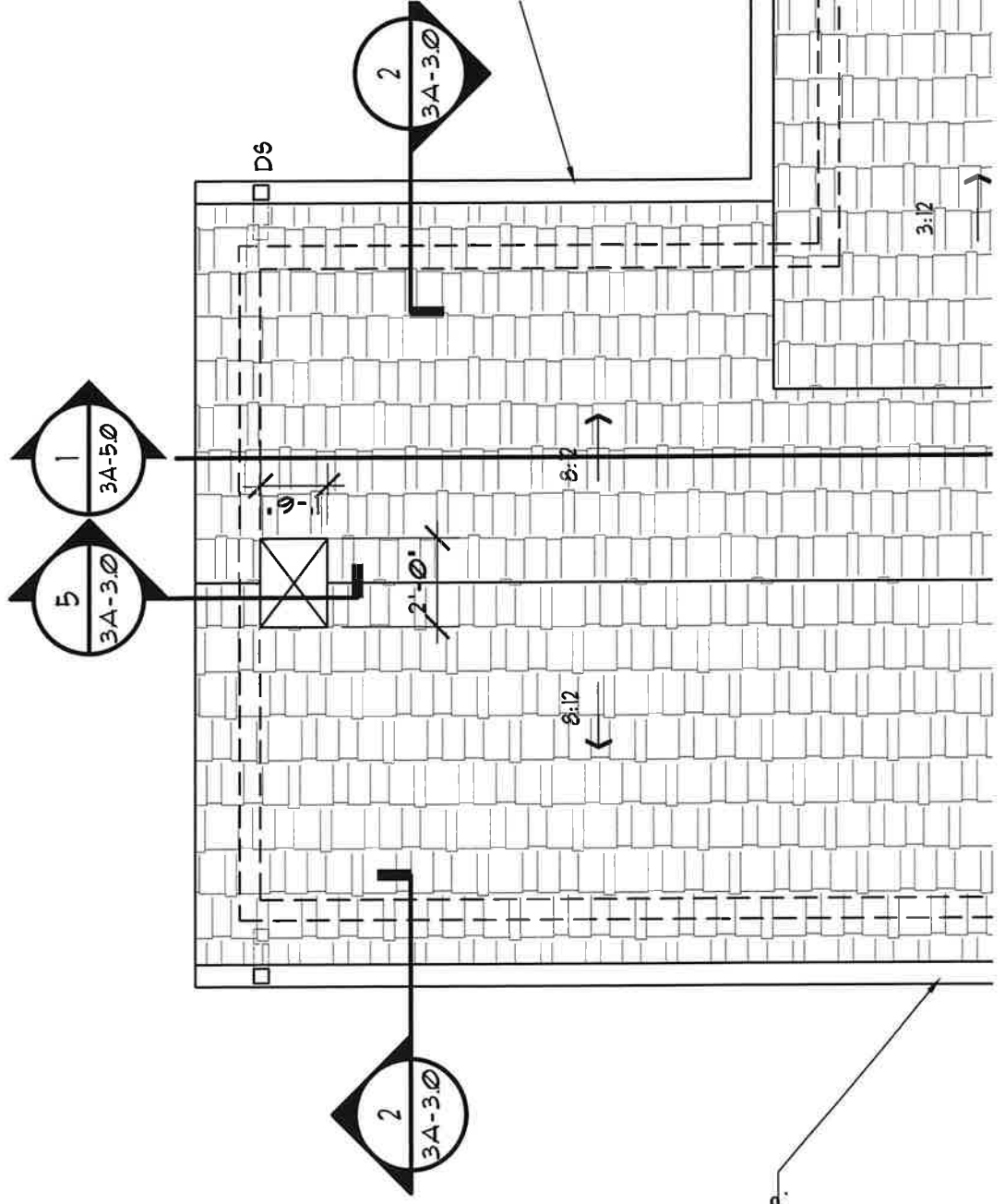




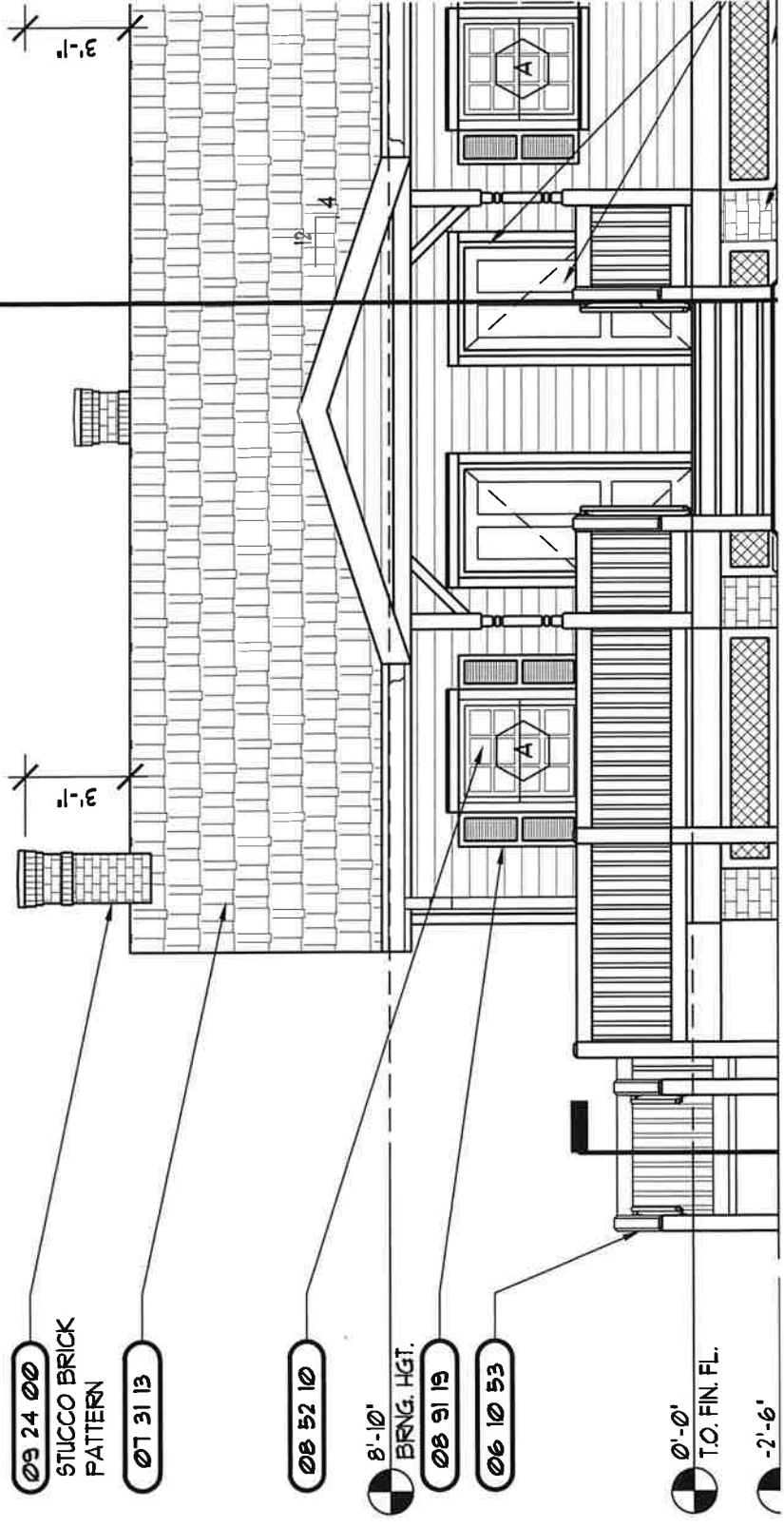


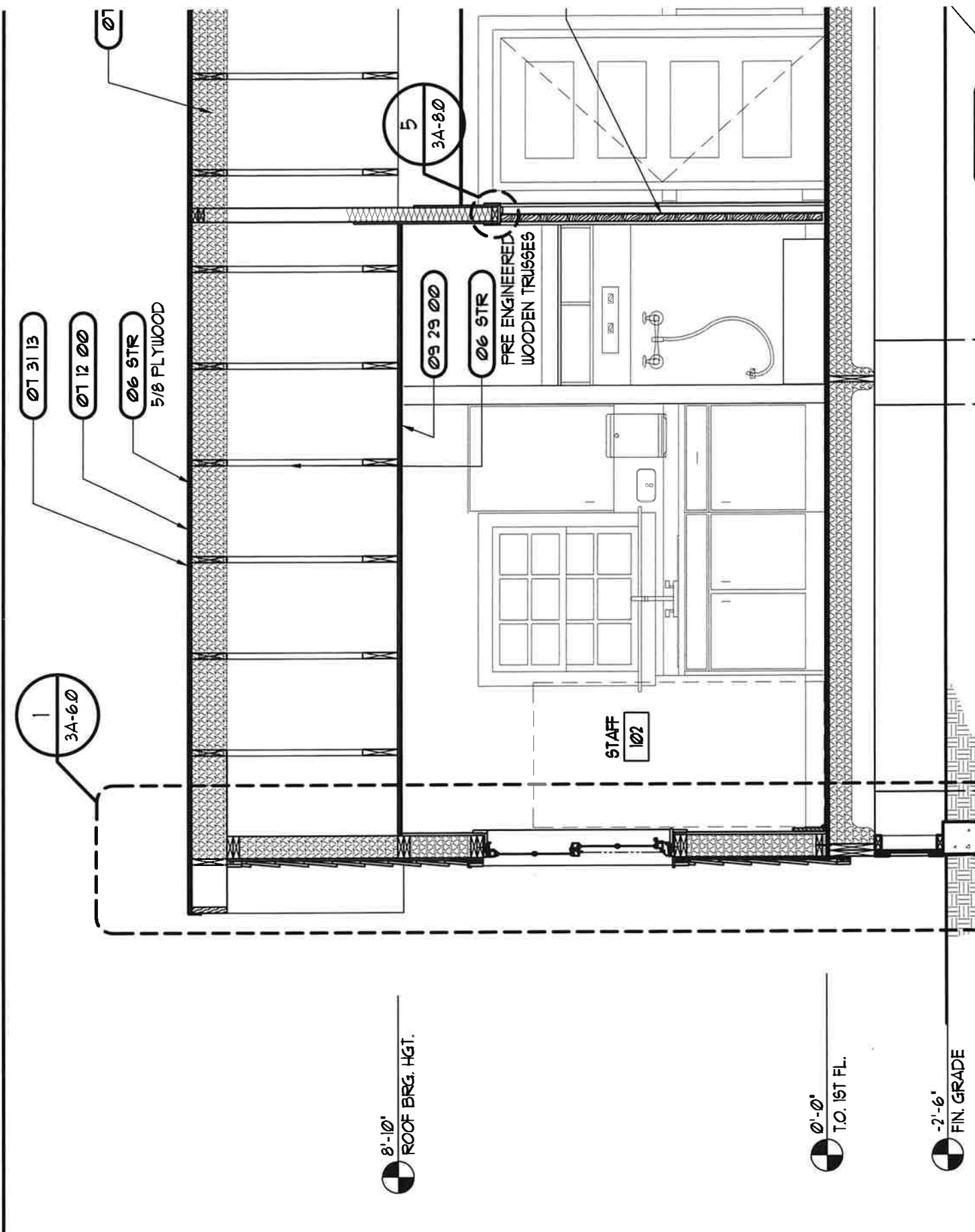


6' GUTTER, TYP.









Ø7 31 13

Ø7 60 00  
ALUM. DRIP EDGE

3  
3A-30

Ø6 16 63  
WALL SIDING

Ø6 STR  
5/8" PLYWOOD

Ø7 25 00

Ø7 90 00  
ALL JOINTS

Ø6 STR  
2X6 WOOD  
FRAMING

Ø7 12 00

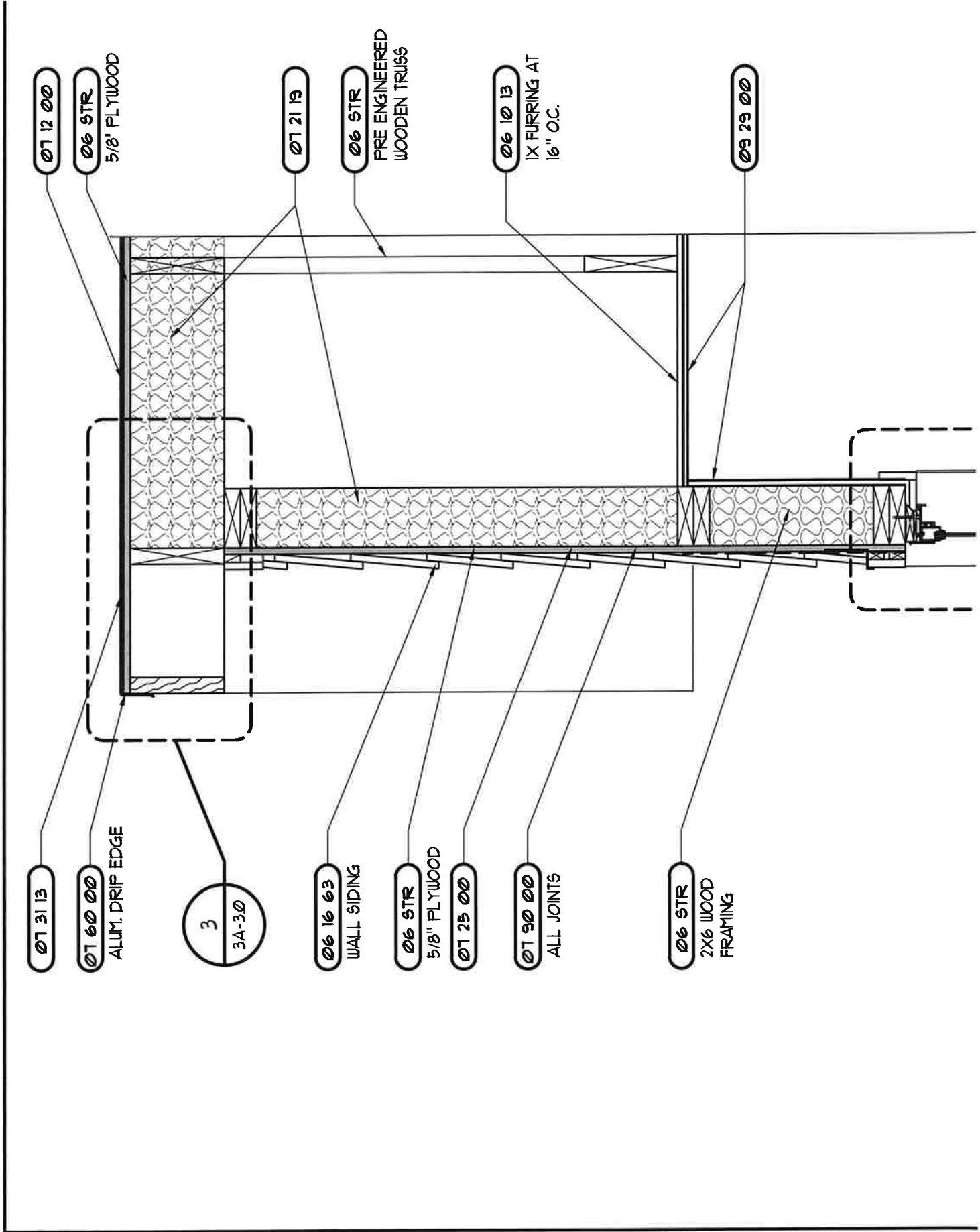
Ø6 STR  
5/8" PLYWOOD

Ø7 21 19

Ø6 STR  
PRE ENGINEERED  
WOODEN TRUSS

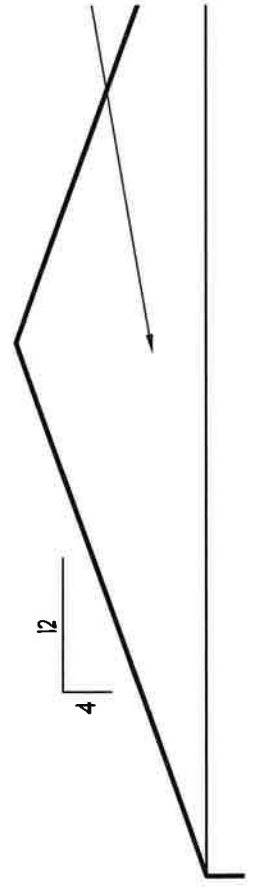
Ø6 10 13  
1X FURRING AT  
16" O.C.

Ø9 29 00





**SCALE: 3/8"=1'-0"**



06 20 00  
IX4 TRIM

CLNG. HGT.  
8'-8"

09 91 00

09 65 00

FIN. FL.  
0'-0"

ELI

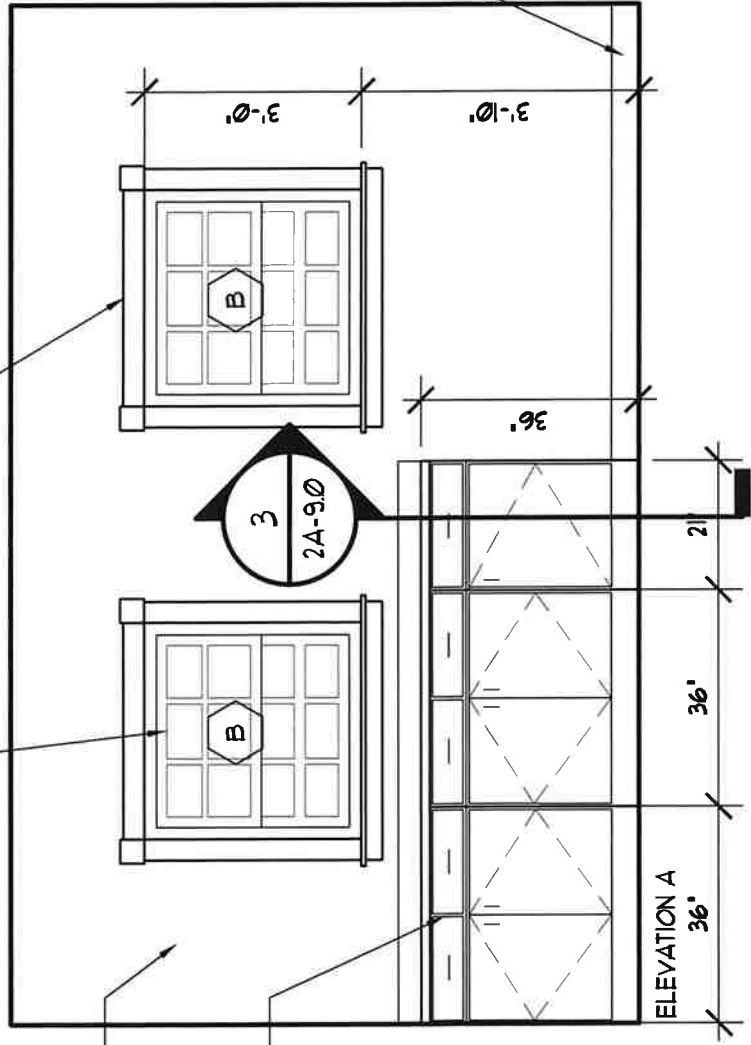
06 20 00  
IX4 TRIM

CLNG. HGT.  
8'-8"

09 91 00

06 40 23

FIN. FL.  
0'-0"



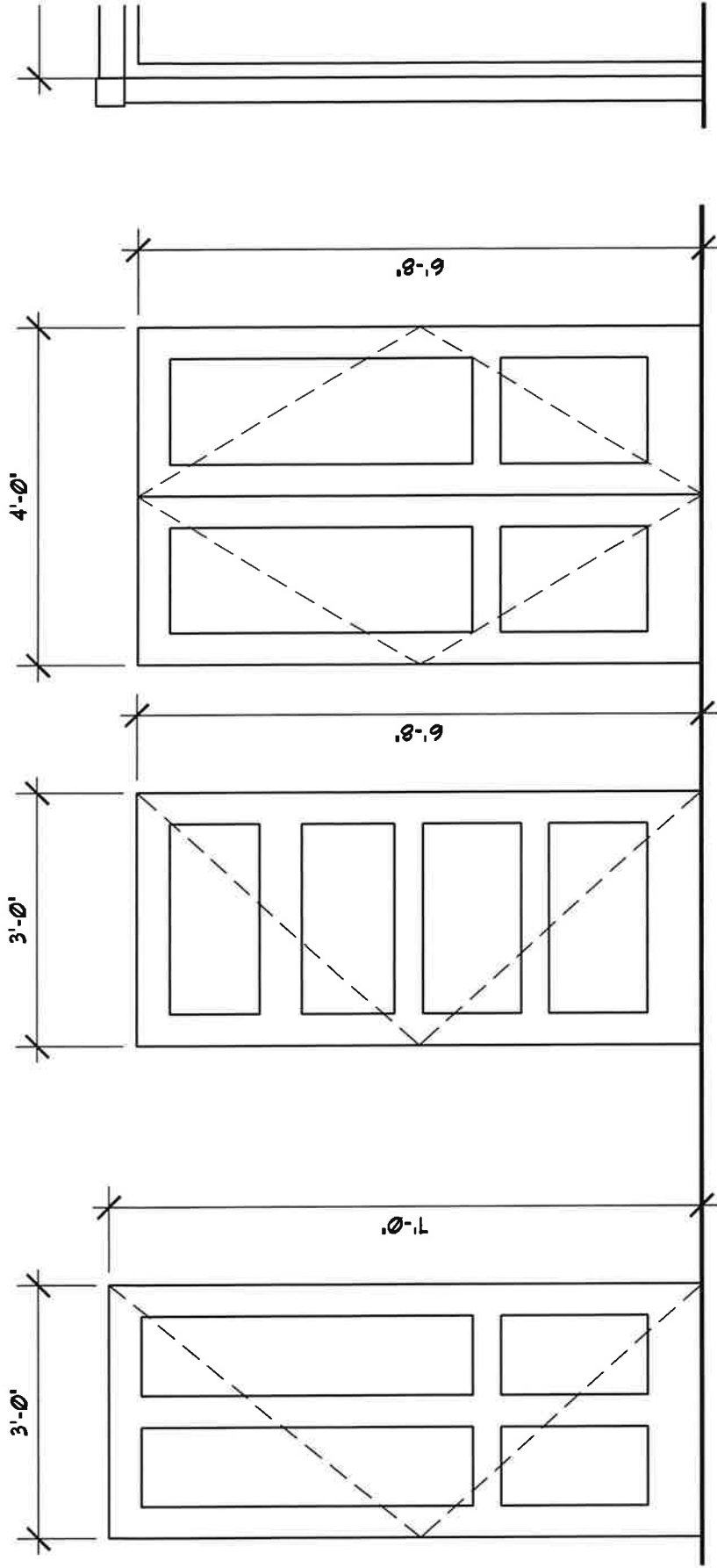
STAFF

102

SCALE: 3/8"=1'-0"

06 20 00  
IX4 TRIM

26 ELEC  
LIGHT FIXTURE



FI

W1

W2

# DOOR TYPES

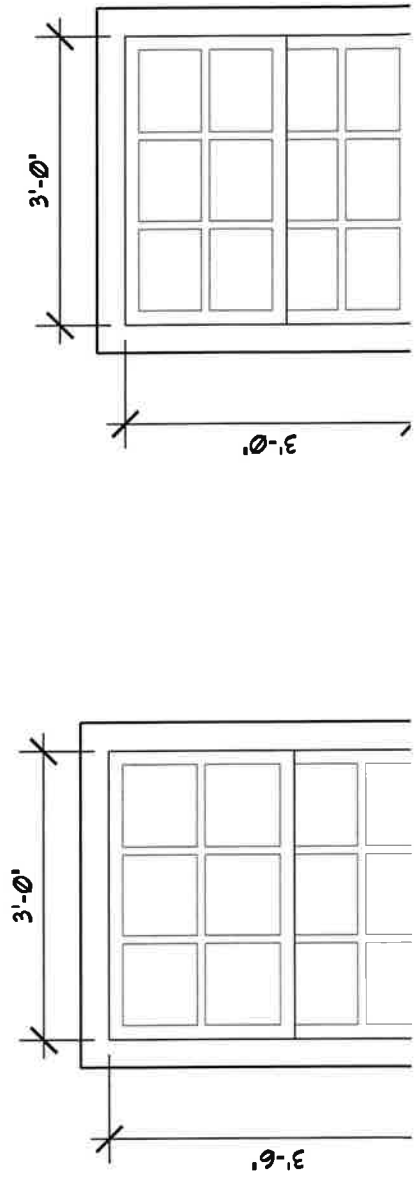
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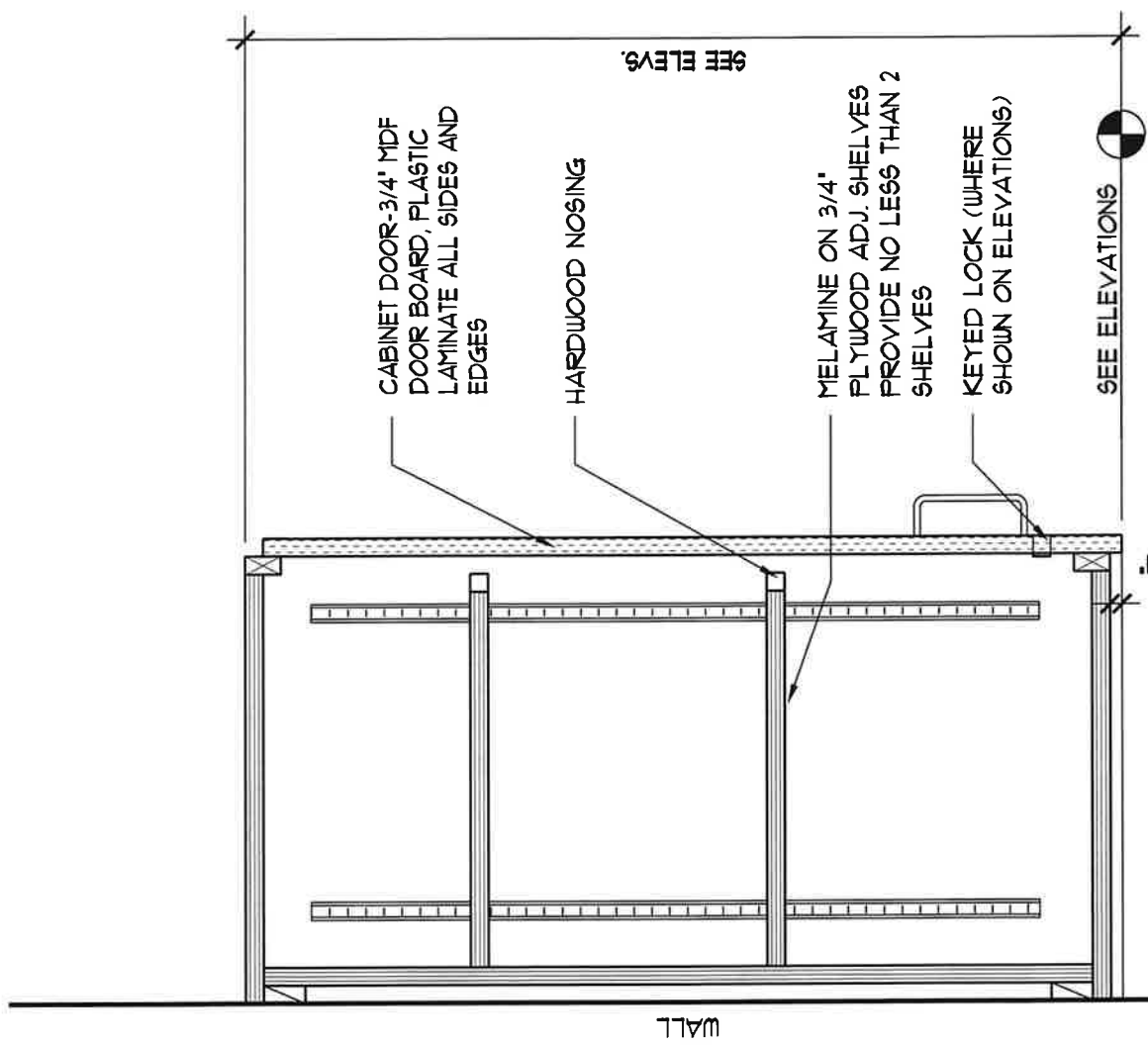
# FRAM

SCALE:

1

2

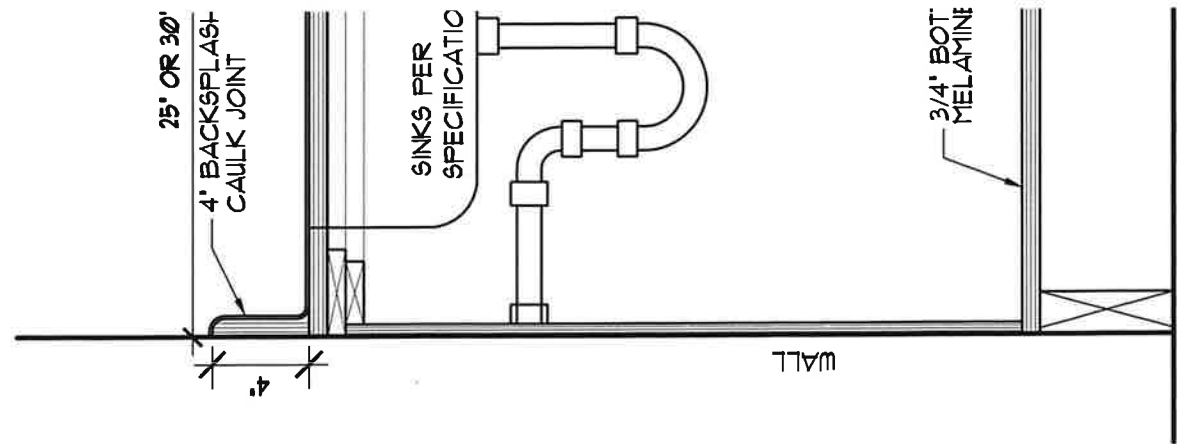




**WALL HUNG CABINET**

SCALE: 1-1/2" = 1'-0"

1

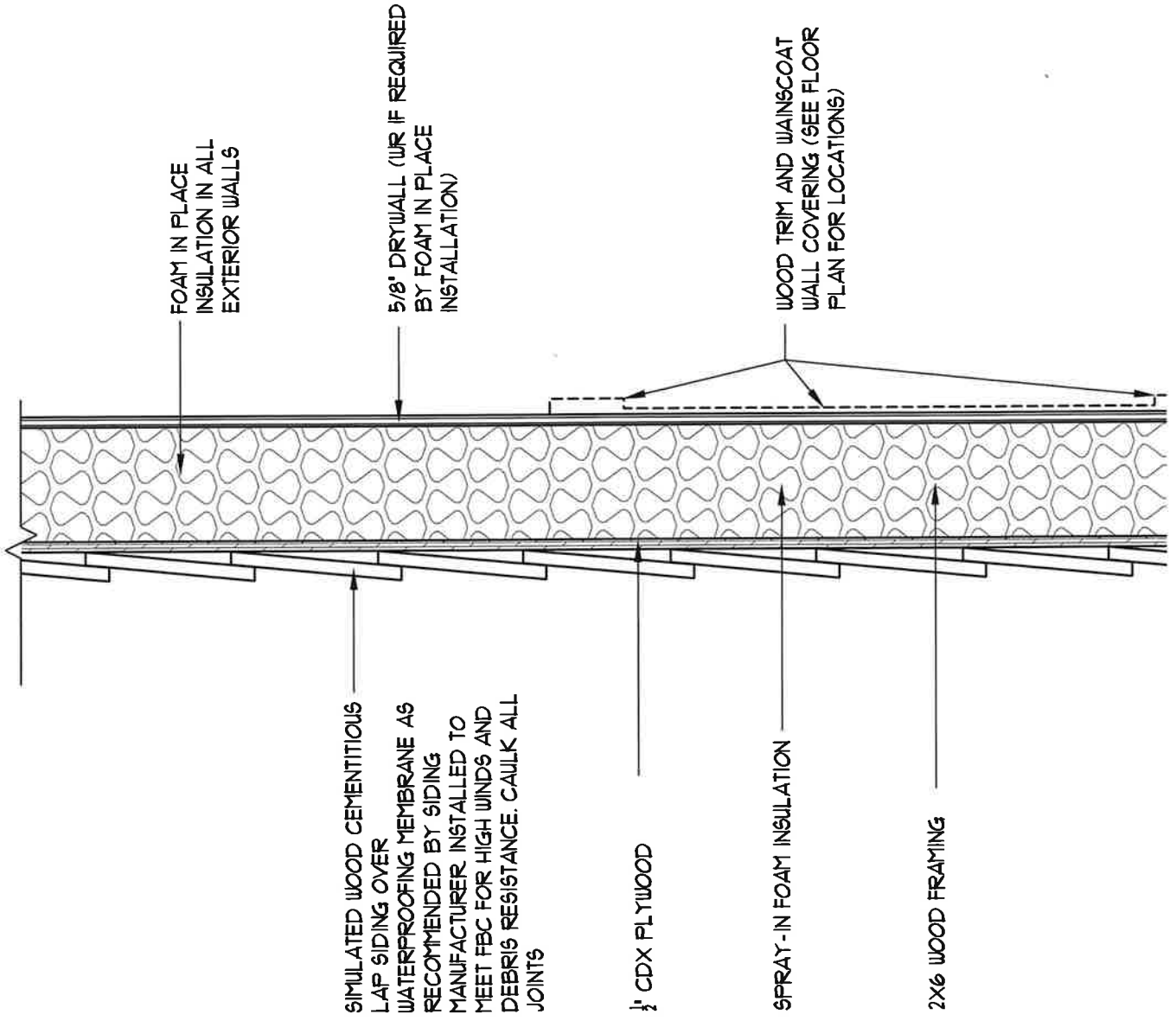


**SINK BAS**

SCALE: 1-1/2" =

2







# ATTACHMENT

## 90% DRAWINGS AND SPECIFICATIONS

- Drawings-1.pdf

General Phase 1 and Phase 2 Drawings

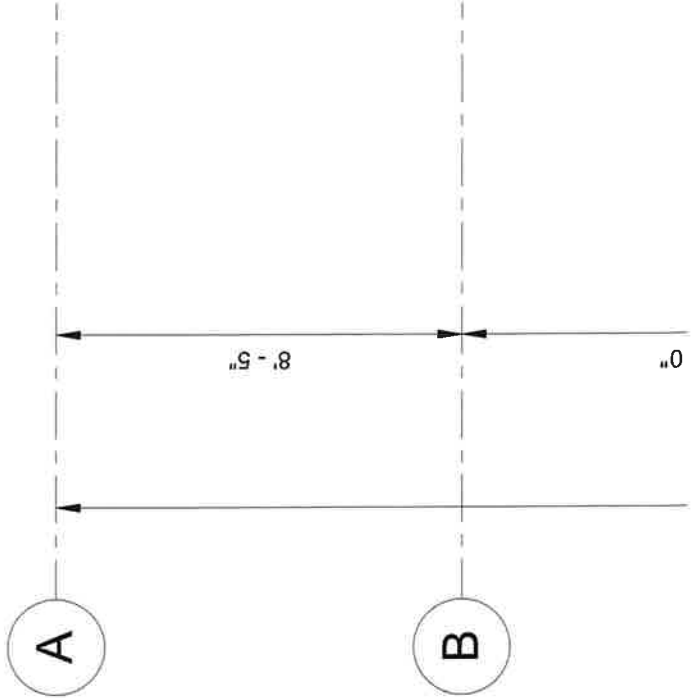
- Drawings-2.pdf

Drawings for Replica Cottage and Education Cottage  
(Lighthouse Experience)

- Drawings-3.pdf

General Phase 1 and Phase 2 Specifications and Details

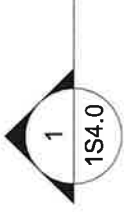
*Note: all drawings and specifications for both Phase 1 and Phase 2 were done at the same time.  
To simplify for this grant request, drawings only for Phase 1 buildings have been removed.*

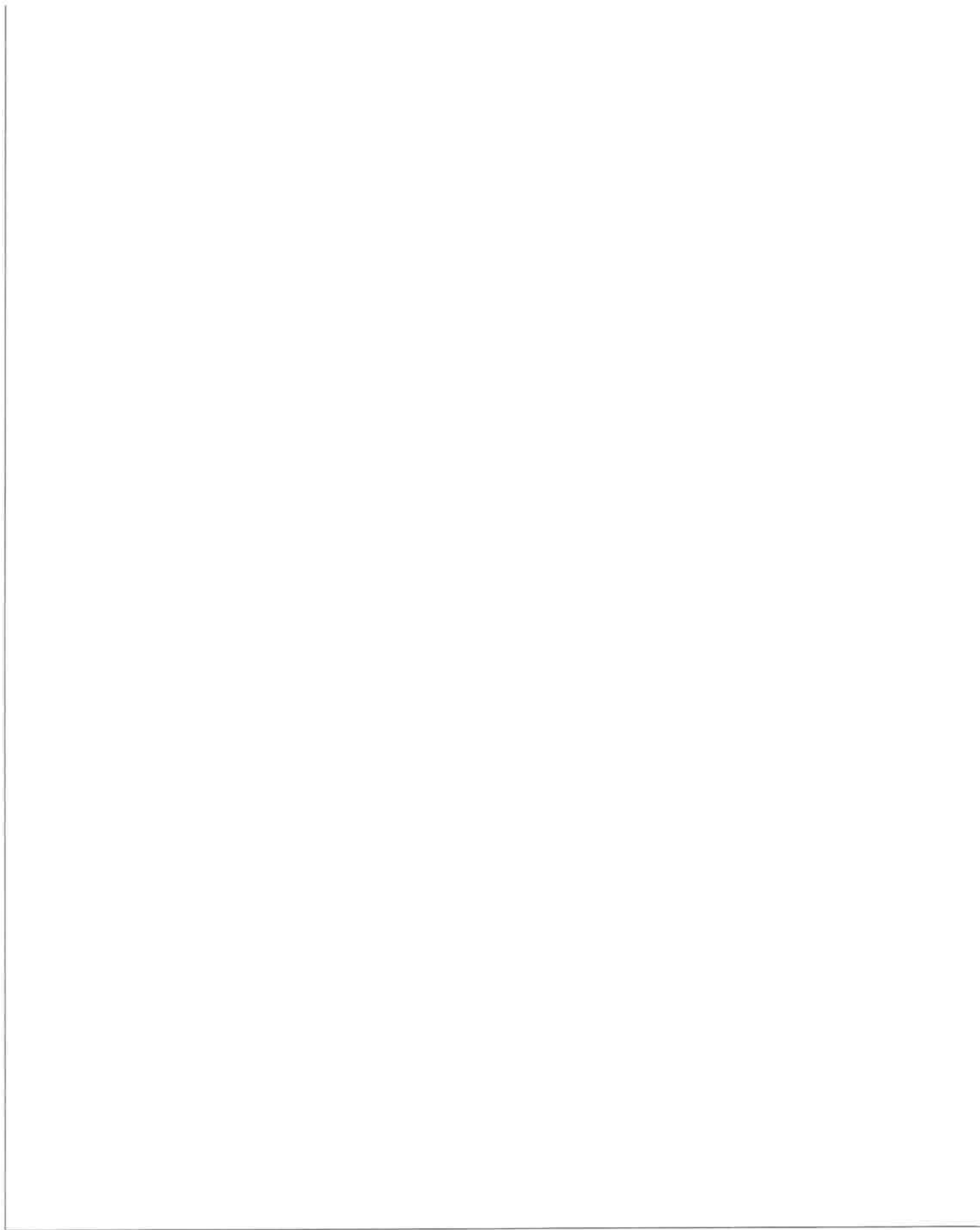


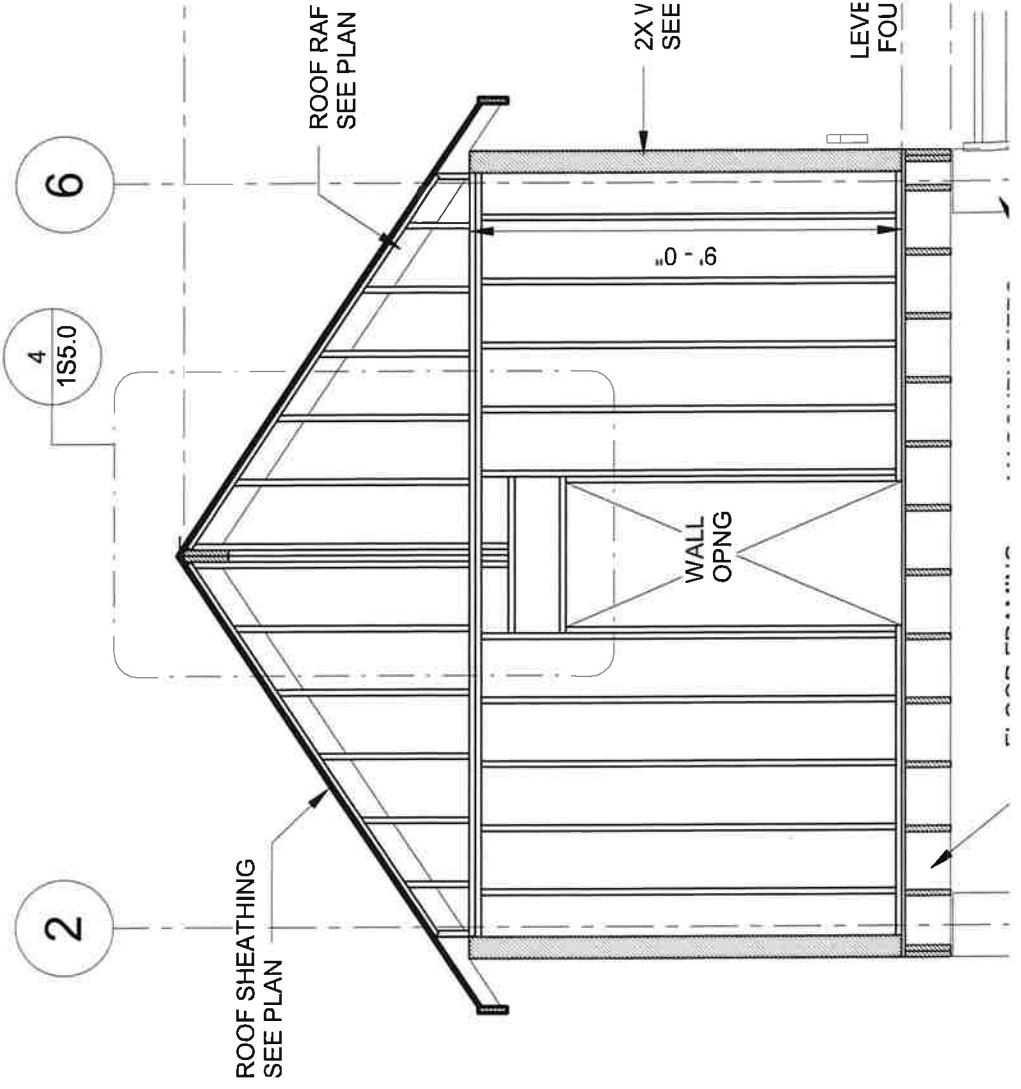
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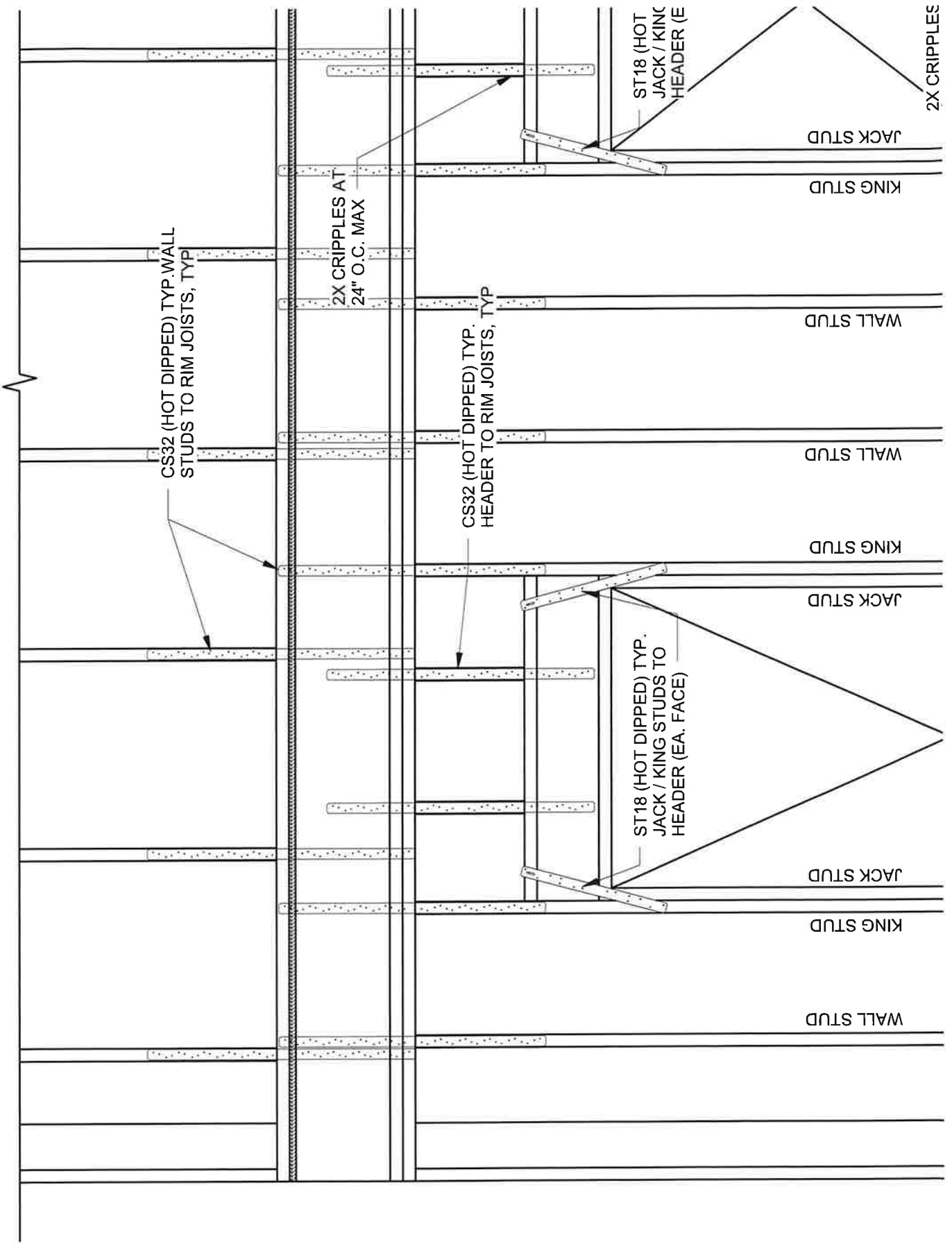
9' - 0"

DENOTE LOAD  
BEARING WALLS  
BELOW











## DESIGN CRITERIA

ALL STRUCTURAL WORK FOR THIS PROJECT HAS BEEN ENGINEERED IN ACCORDANCE WITH: THE FLORIDA BUILDING CODE, 2010 AND ASCE-7 10 "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES.

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THESE CODES AND THEIR REFERENCED STANDARDS, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.

THIS STRUCTURE IS LOCATED IN A "WIND BORNE DEBRIS REGION" AS DEFINED BY THE FLORIDA BUILDING CODE AND THE STRUCTURE HAS BEEN DESIGNED AS AN "ENCLOSED" BUILDING. ALL EXTERIOR WALL OPENINGS SHALL HAVE EQUIPMENT OR COVERINGS WHICH MEET THE IMPACT RESISTANT REQUIREMENTS OF FBC "PROTECTION OF OPENINGS". CURRENT NOA'S (NOTICE OF ACCEPTANCE) CERTIFICATIONS SHALL BE SUBMITTED FOR ALL WINDOWS, DOORS AND COVERINGS.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SHOWN ON THE DRAWINGS WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. ANY QUESTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE STARTING CONSTRUCTION.

ALL STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW BY THE ARCHITECT OR ENGINEER TO PERFORM ALL INSPECTION WORK AS REQUIRED.

THE CONTRACTOR SHALL PROTECT ANY ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS AND METHODS, AND JOB SITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.

THE STRUCTURE IS DESIGNED TO BE STRUCTURALLY SOUND WHEN COMPLETED. PRIOR TO COMPLETION, THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND TEMPORARY BRACING, INCLUDING, BUT NOT LIMITED TO, LOAD BEARING CONCRETE AND MASONRY WALLS, STRUCTURAL STEEL FRAMES, FLOOR AND ROOF FRAMING. WHEREVER THE CONTRACTOR IS UNSURE OF THE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A FLORIDA LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION

## CAST IN PLACE C

ALL REINFORCED CONCRETE WILL BE CAST IN PLACE IN ACCORDANCE WITH ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR CONCRETE", ACI 301, 08, "SPECIFICATIONS FOR CAST-IN-PLACE CONCRETE"

PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL PREPARE CONCRETE MIX DESIGN PER THE SPECIFICATIONS TO THE EOR FOR CONCRETE

SLAB ON GRADE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE EVIDENCE TO THE ENGINEER OF RECORD FOR ALL CONCRETE

ALL CONCRETE SHALL BE NORMALLY CONSISTENT WITH ALL CEMENT SHALL CONFORM TO ASTM C150, "SPECIFICATION FOR PORTLAND CEMENT", AND MAXIMUM AGGREGATE SIZE SHALL BE 3/4" FOR ALL WALLS AND SLABS, AND 1 1/2" FOR ALL SLABS

ALL CONCRETE WORK SHALL BE CAST IN PLACE IN ACCORDANCE WITH SECTIONS 5.7 THRU 5.13 OF ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR CONCRETE". READ THESE SECTIONS OF THE SPECIFICATIONS

CONCRETE REINFORCING: ALL REINFORCING SHALL BE EPOXY COATED. DEFORMED BARS: ALL REINFORCING SHALL BE EPOXY COATED. WELDED WIRE FABRIC: ALL REINFORCING SHALL BE EPOXY COATED. (PROVIDE IN FLAT SHEETS) USE EPOXY COATED WIRE FABRIC

REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL BE PROTECTED AS SHOWN ON THE DRAWINGS

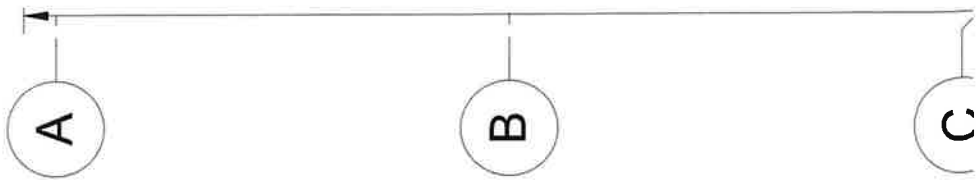
ALL CONCRETE REINFORCEMENT SHALL BE CAST IN PLACE AND SUPPORTED AND SPACED IN ACCORDANCE WITH ACI 315, "DETAILS AND DESIGN OF CONCRETE"

REINFORCING LAPS LENGTHS SHALL BE AS SHOWN IN THE CRSI DESIGN HANDBOOK 2002 OF TABLE A-1: "DEFINITIONS OF LAP LENGTHS". TABLE A-3 (a) THRU (f): "TENSION REINFORCEMENT"

UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL REINFORCEMENT SHALL BE CLASS B FROM THE APPROVED LIST OF REINFORCEMENT NOTED ABOVE

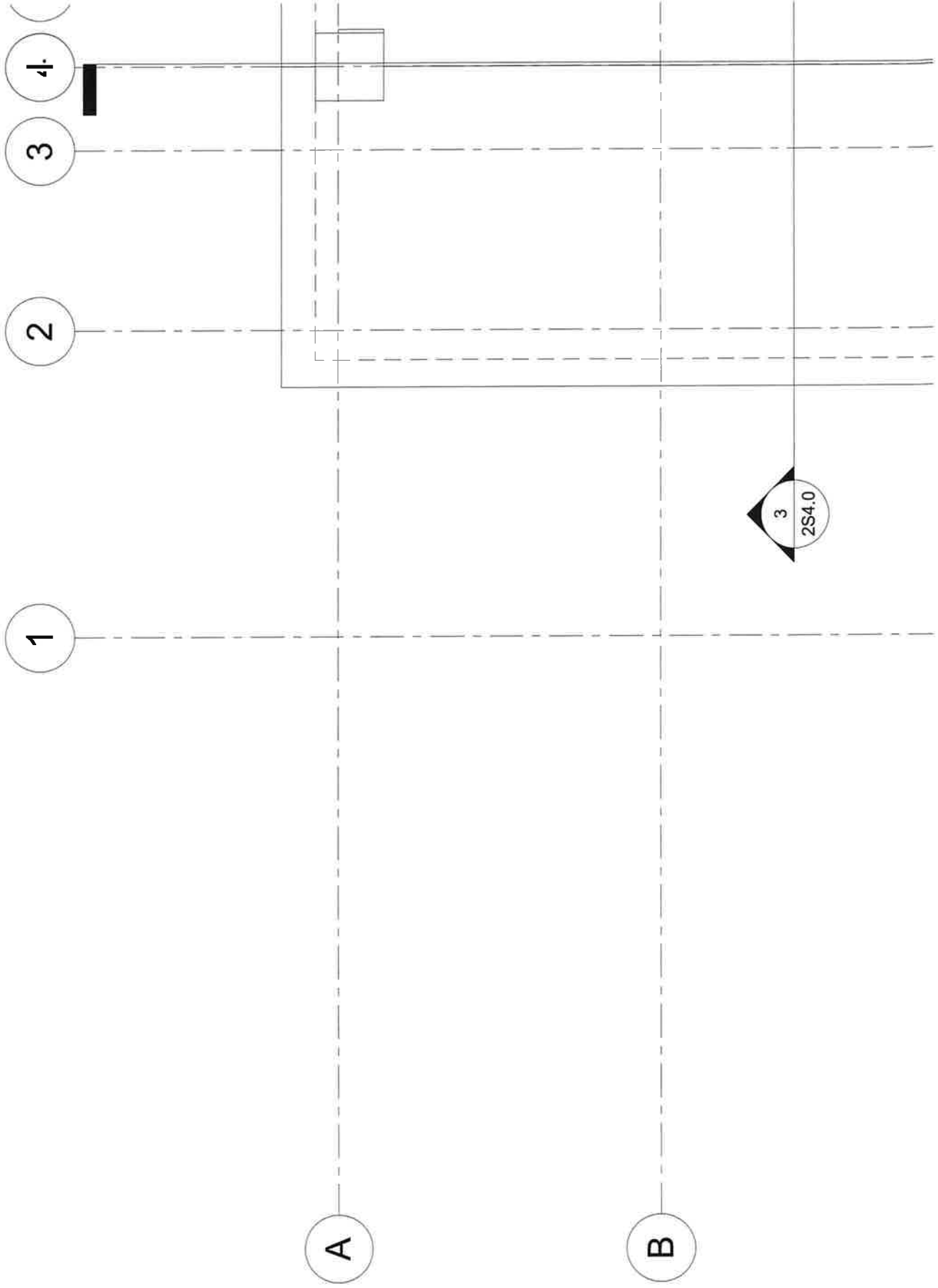
SPLICES IN TOP REINFORCEMENT SHALL BE IN BOTTOM REINFORCEMENT. SPLICES IN BOTTOM REINFORCEMENT SHALL BE IN TOP REINFORCEMENT. SPLICES IN WALL FOOTING REINFORCEMENT SHALL BE IN WALL FOOTING REINFORCEMENT. WELDED WIRE FABRIC: 8" LAP MINIMUM

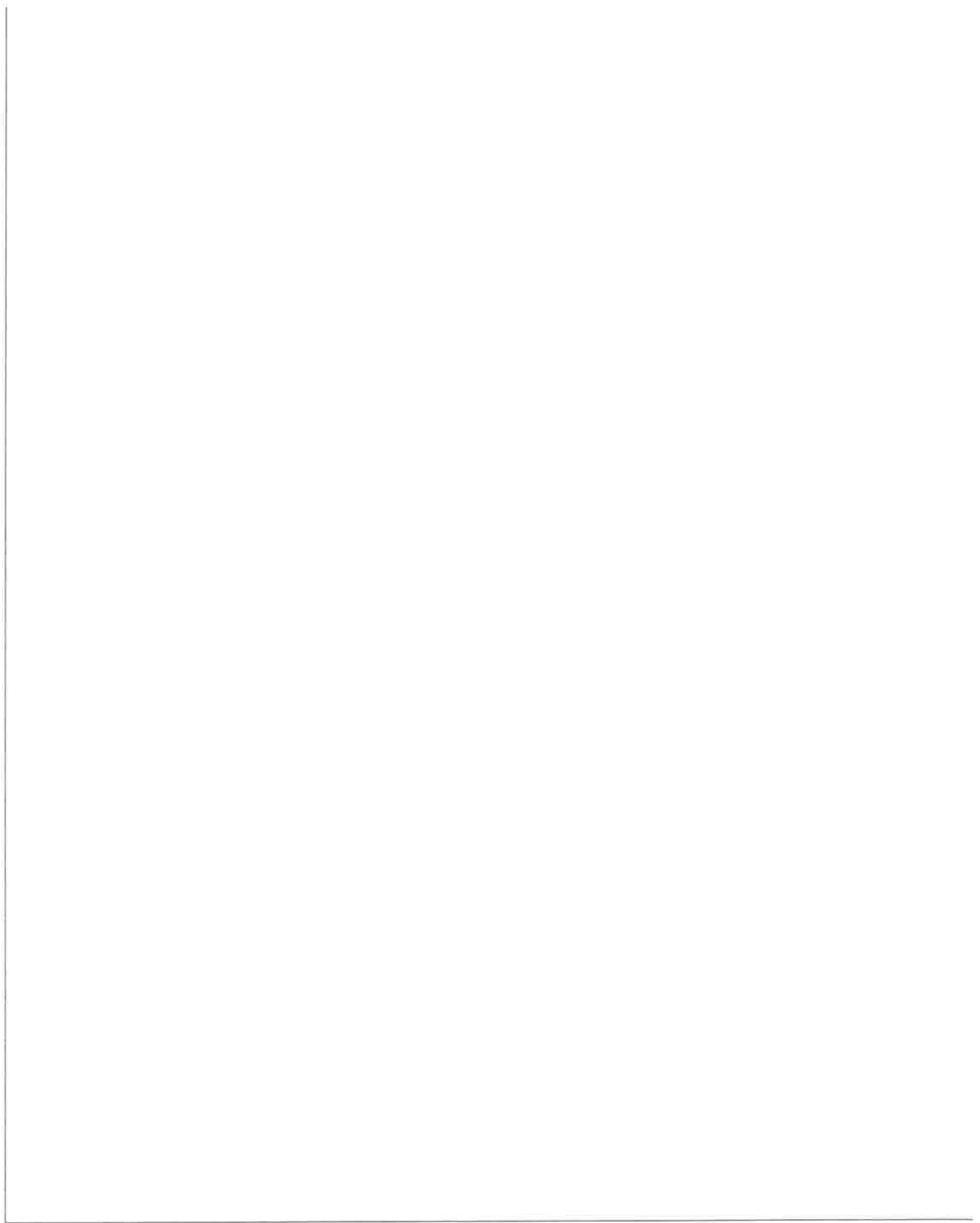
TOP BARS IN BEAMS SHALL BE TIED TOGETHER

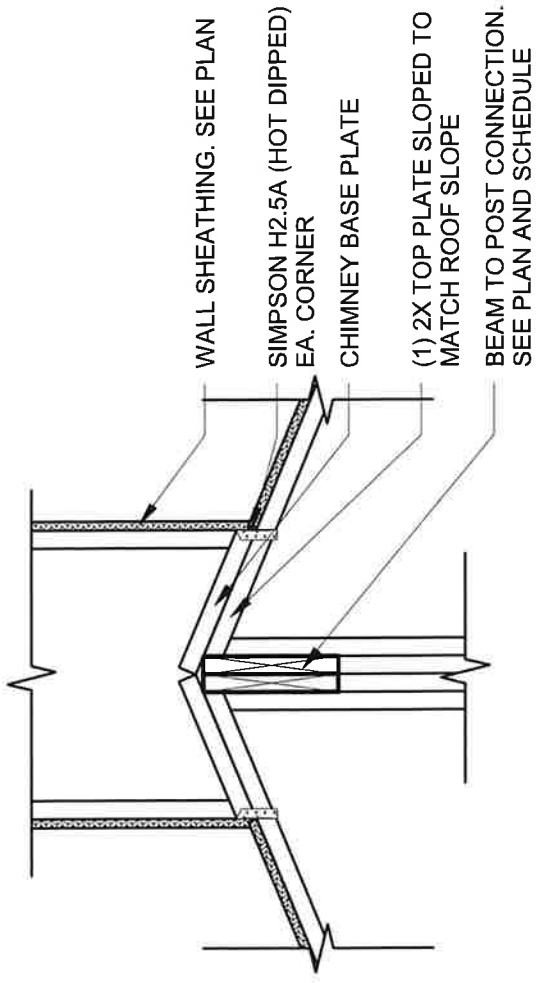


A

B







# CHIMNEY DETAIL

6

3/4" = 1'-0"



## DESIGN CRITERIA

ALL STRUCTURAL WORK FOR THIS PROJECT HAS BEEN ENGINEERED IN ACCORDANCE WITH: THE FLORIDA BUILDING CODE, 2010 AND ASCE-7 10 "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES.

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THESE CODES AND THEIR REFERENCED STANDARDS, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.

THIS STRUCTURE IS LOCATED IN A "WIND BORNE DEBRIS REGION" AS DEFINED BY THE FLORIDA BUILDING CODE AND THE STRUCTURE HAS BEEN DESIGNED AS AN "ENCLOSED" BUILDING. ALL EXTERIOR WALL OPENINGS SHALL HAVE EQUIPMENT OR COVERINGS WHICH MEET THE IMPACT RESISTANT REQUIREMENTS OF FBC "PROTECTION OF OPENINGS". CURRENT NOA'S (NOTICE OF ACCEPTANCE) CERTIFICATIONS SHALL BE SUBMITTED FOR ALL WINDOWS, DOORS AND COVERINGS.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SHOWN ON THE DRAWINGS WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. ANY QUESTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE STARTING CONSTRUCTION.

ALL STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW BY THE ARCHITECT OR ENGINEER TO PERFORM ALL INSPECTION WORK AS REQUIRED.

THE CONTRACTOR SHALL PROTECT ANY ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS AND METHODS, AND JOB SITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.

THE STRUCTURE IS DESIGNED TO BE STRUCTURALLY SOUND WHEN COMPLETED. PRIOR TO COMPLETION, THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND TEMPORARY BRACING, INCLUDING, BUT NOT LIMITED TO, LOAD BEARING CONCRETE AND MASONRY WALLS, STRUCTURAL STEEL FRAMES, FLOOR AND ROOF FRAMING. WHEREVER THE CONTRACTOR IS UNSURE OF THE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A FLORIDA LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION

## CAST IN PLACE C

ALL REINFORCED CONCRETE WILL BE IN ACCORDANCE WITH ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND ACI 301, 08, "SPECIFICATIONS FOR CAST-IN-PLACE CONCRETE".

PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL, CONCRETE MIX DESIGN PREPARED IN ACCORDANCE WITH THE EOR FOR THE PROJECT.

SLAB ON GRADE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 308, 08, "CONCRETE PRACTICE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.

ALL CONCRETE SHALL BE NORMALLY CONSISTENT AND ALL CEMENT SHALL CONFORM TO ASTM C 150, "SPECIFICATION FOR PORTLAND CEMENT". MAXIMUM AGGREGATE SIZE SHALL BE 3/4" FOR ALL WALLS AND SLABS, AND 1 1/2" FOR ALL GRADE CONSTRUCTION.

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308, 08, "CONCRETE PRACTICE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.

CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH ACI 308, 08, "CONCRETE PRACTICE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL. REINFORCING SHALL BE EPOXY COATED, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL BE PROTECTED AS SHOWN ON THE DRAWINGS.

ALL CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 315, "DETAILS AND DESIGN OF REINFORCED CONCRETE".

REINFORCING LAPS LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.

UNLESS NOTED OTHERWISE ON THE DRAWINGS, REINFORCING SHALL BE CLASS B FROM THE APPROVED LIST OF REINFORCING MATERIALS NOTED ABOVE.

SPLICES IN TOP REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL. SPLICES IN BOTTOM REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318, 08, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.

TOP BARS IN BEAMS SHALL BE TIED TOGETHER AT 12" ON CENTER.



A

B

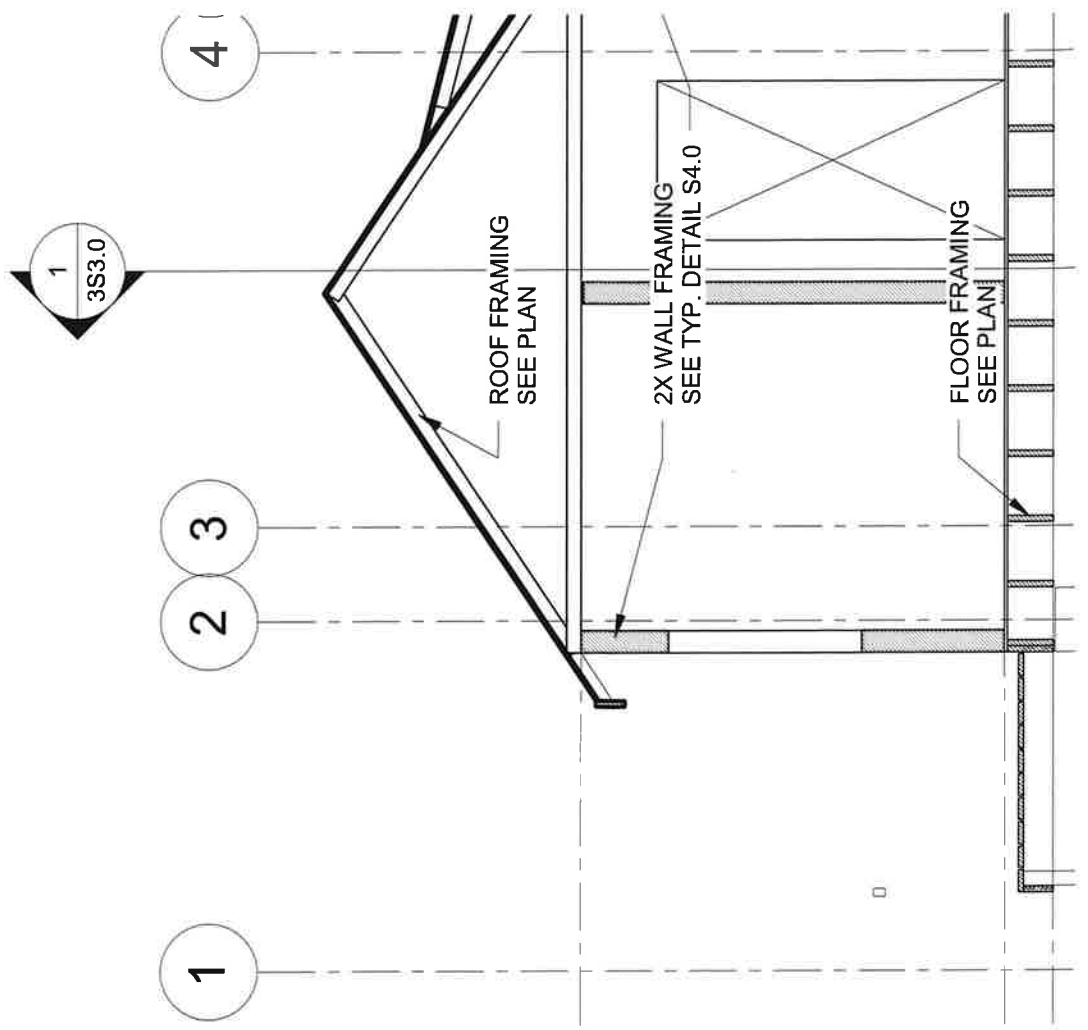
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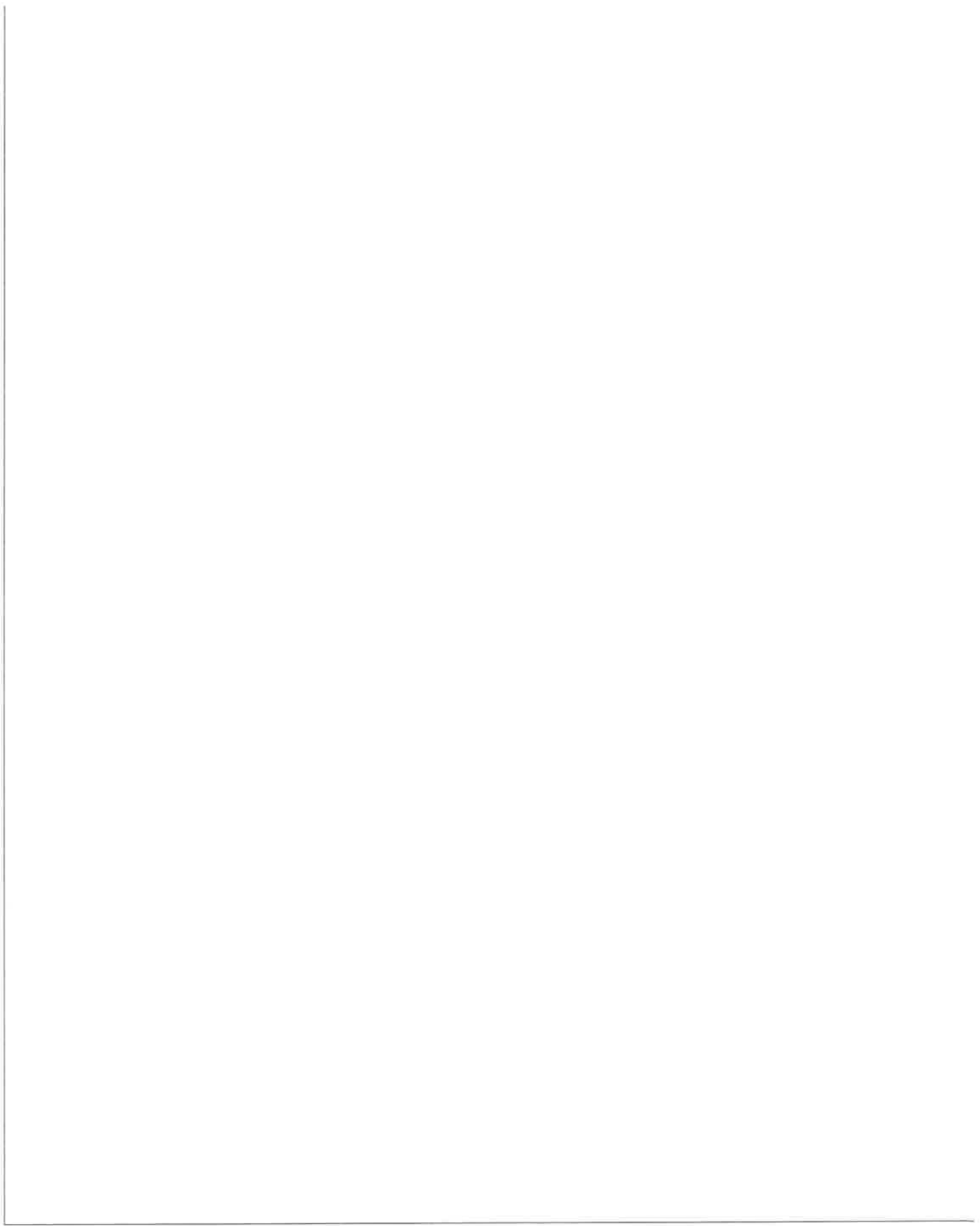
A

B

C

(







A

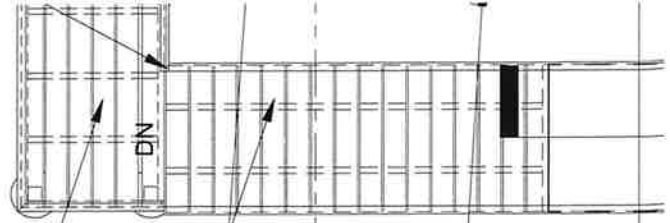
HU212 (HOT DIPPE  
BRACKETS BOTH  
SIDES TYP

5/4X6 RECYCLED  
PLASTIC DECKING ON  
2X8 JOISTS @ 16" O.C.  
TYP. @ LANDING

5/4X6 RECYCLED  
PLASTIC DECKING ON  
2X12 JOISTS @ 16" O.C.  
TYP. @ RAMP

B

4X4 POSTS ON 12" DIA  
SONOTUBE CONC  
FOUNDATION TYP

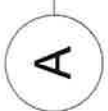
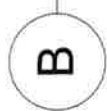


2  
45.30

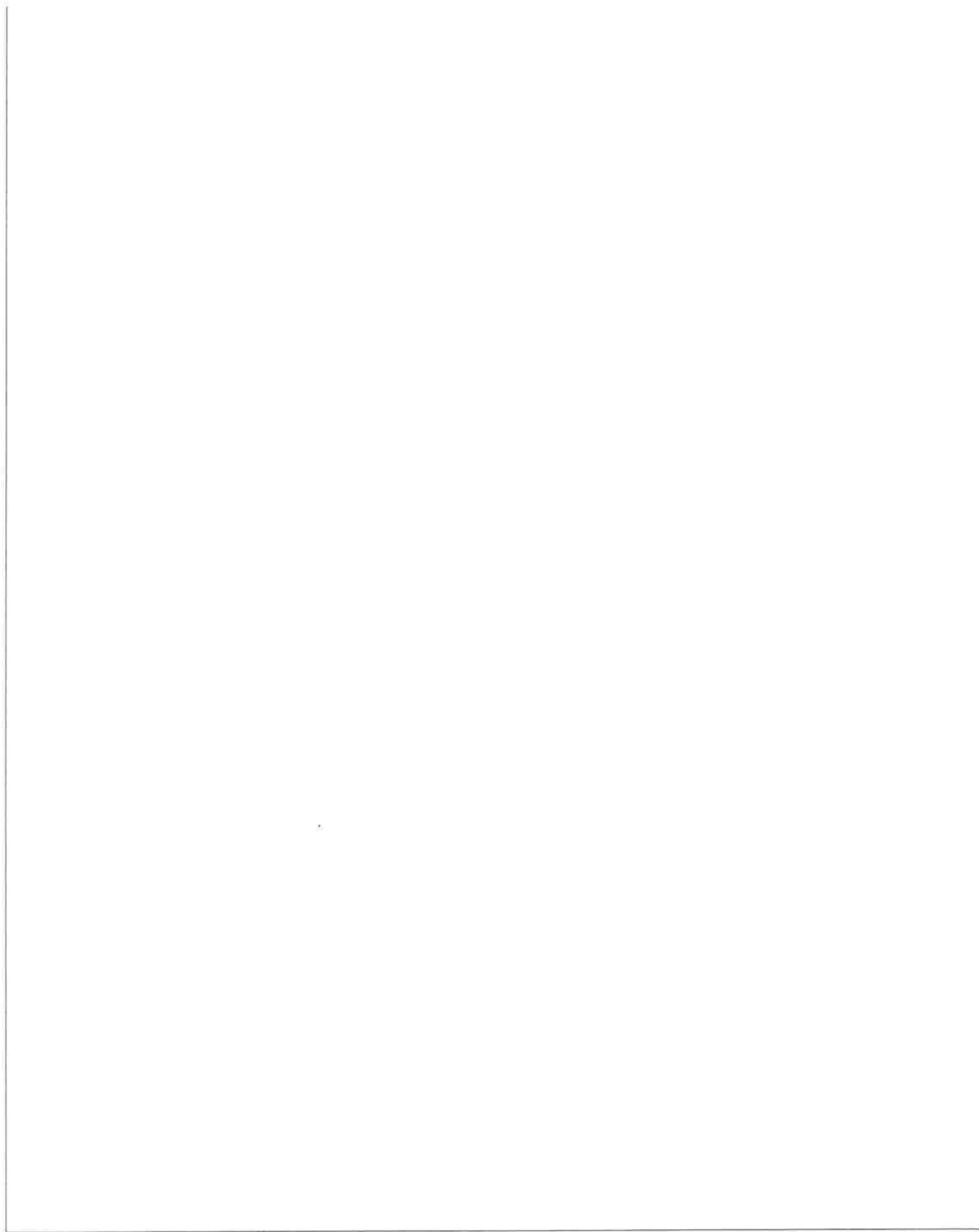


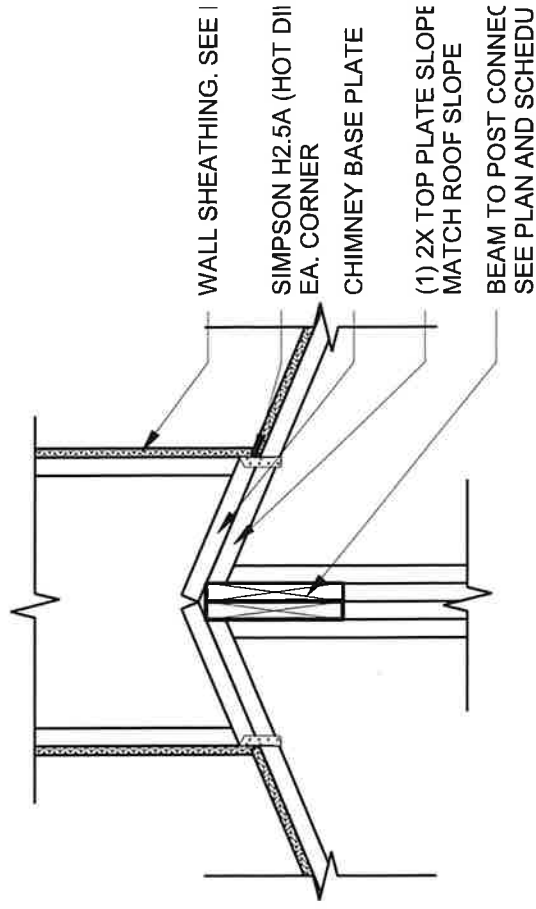
22' - 9 1/2"

19' - 9 1/2"





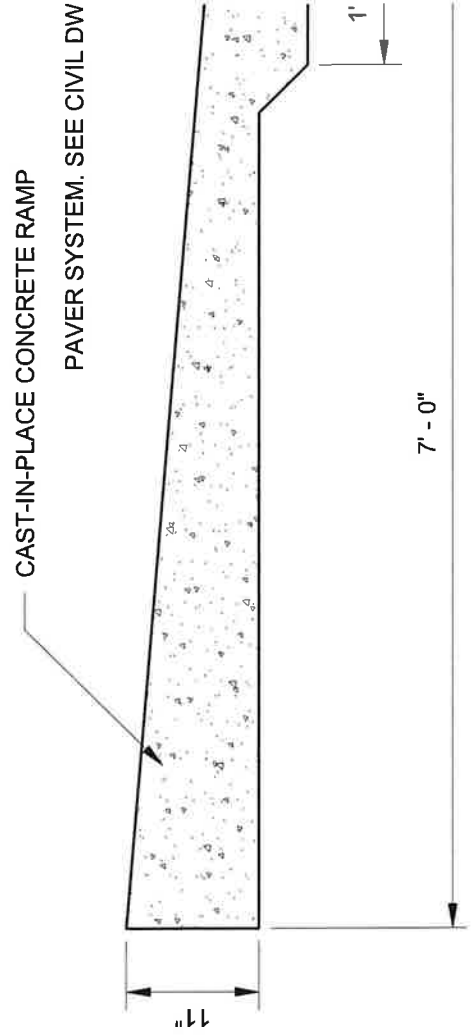




## CHIMNEY DETAIL

4

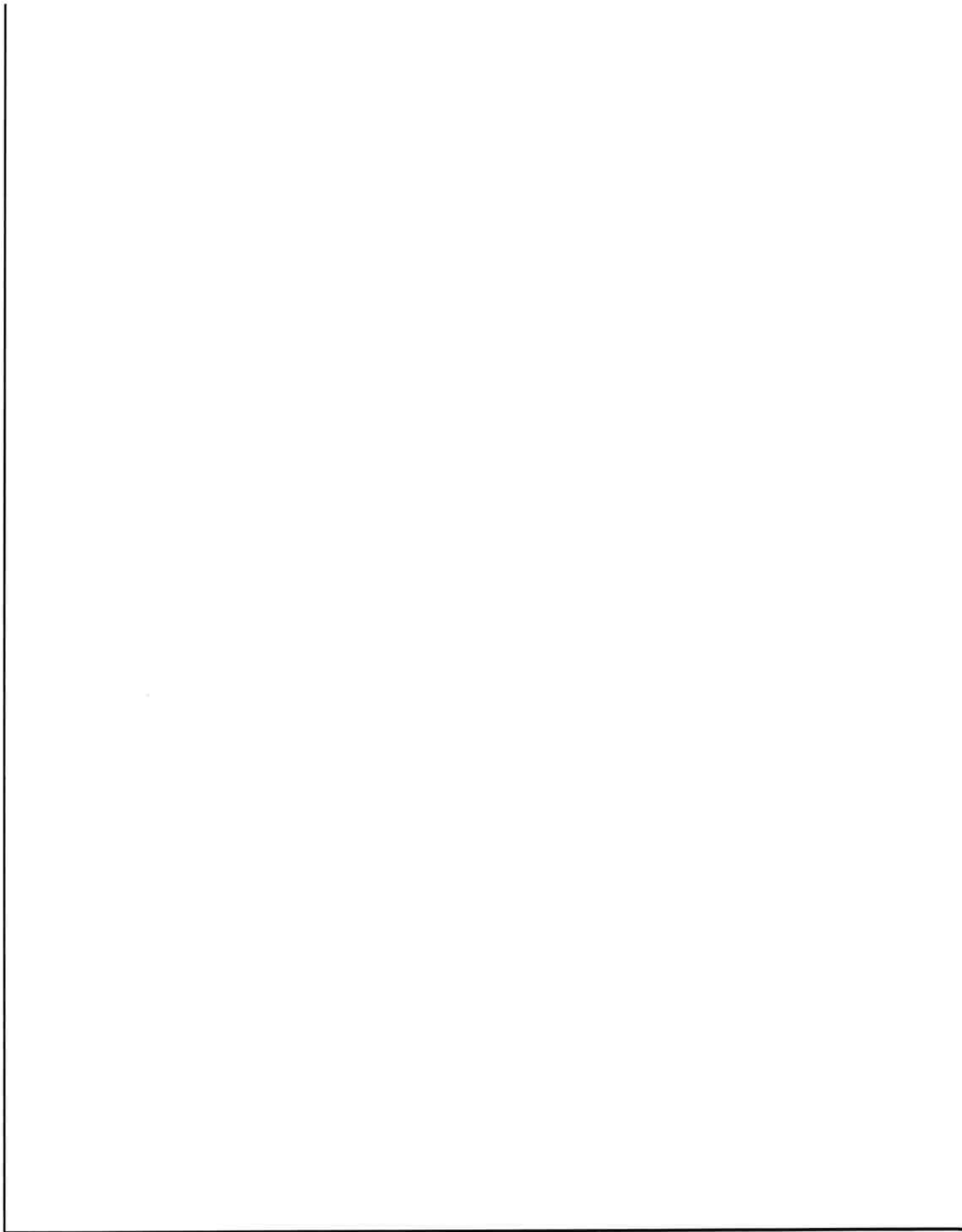
3/4" = 1'-0"



PLUMBING GENERAL NOTES AND SPECIFIC

1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS TO PERFORM ALL WORK NECESSARY FOR THE COMPLETE EXECUTION OF THE PLUMBING WORK AS SHOWN ON THE DRAWINGS. PIPING SHALL ESSENTIALLY BE ROUTED AND LOCATED AS INDICATED ON THE DRAWINGS. HOWEVER, ACTUAL PLACEMENT SHALL BE VERIFIED BY CONFIRMING EXACT LOCATION OF STRUCTURES AND OTHER UTILITIES IN THE FIELD AND BY CAREFUL LAYOUT PRIOR TO EXECUTION OF THE WORK. PLUMBING DRAWINGS ARE GENERALLY DIAGRAMMATIC AND SHOULD NOT BE SCALED.	4'-0" ON CENTER FOR 1-1/2" AND LARGER SHALL BE HOT DIPPED GALVANIZED OR "UNISTRUT" TYPE INCLUDING HARDWARE.
2. PROVIDE WORK NOT SPECIFICALLY SHOWN OR SPECIFIED, YET REQUIRED TO INSURE PROPER AND COMPLETE OPERATIONS OF ALL SYSTEMS AND TO SATISFY THE DESIGN INTENT IN THE WORK AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.	14. ROUTE ALL PIPING CONCEALED ABOVE CHASES. PIPING EXPOSED SHALL BE SLC ARCHITECTURAL FINISHES. PIPING IN MEC EXPOSED.
3. LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED UNDER THE PLUMBING CONTRACTORS' SCOPE OF WORK SHALL BE PERFORMED BY EXPERIENCED MECHANICS OF THE PROPER TRADE AND ALL WORKMANSHIP SHALL BE FIRST CLASS AND SHALL BE IN COMPLIANCE WITH THE SPECIFIC REQUIREMENTS OF THE CONTRACT DRAWINGS.	15. SEE ARCHITECTURAL DRAWINGS FOR EXACT MOUNTING HEIGHTS, DIMENSIONS AND AD COVERED ON THESE DRAWINGS.
4. ALL DISCREPANCIES ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID CONSTITUTES ACCEPTANCE OF FIELD CONDITIONS.	16. STORM DRAIN, CONDENSATE DRAIN, SANIT SHALL BE COLLECTED AND TERMINATED / DRAWINGS. PIPING SHALL BE SCHEDULE WELD JOINTS, EXCEPT FOR RETURN AIR WEIGHT CAST IRON PIPE WITH HUB AND WITH 1" THICK FIRE WRAP INSULATION S 25/50 SHALL BE USED. FIRE WRAP INSI BARRIER PLENUM WRAP BY 3M OR APPF
5. ALL WORK SHALL BE IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND STANDARDS:  FLORIDA BUILDING CODE, (FBC); NATIONAL FIRE PROTECTION ASSOCIATION, (NFPA); AMERICANS WITH DISABILITIES ACT, (ADA); AMERICAN SOCIETY OF MECHANICAL ENGINEERS, (ASME); AMERICAN SOCIETY FOR TESTING AND MATERIALS, (ASTM); AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI); UNDERWRITERS LABORATORIES, (UL); ALL LOCAL CODES, ORDINANCES, REGULATIONS; THE AUTHORITY HAVING JURISDICTION.	17. ALL DRAINAGE PIPING 3" AND LARGER S 1/8" PER FOOT, PIPING 2-1/2" AND SMALLER OF 1/4" PER FOOT UNLESS OTHERWISE NOTED
6. ALL MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE NEW AND FREE OF DEFECTS AND SHALL BE UL LISTED FOR THE INTENDED APPLICATION.	18. VENT PIPING SHOWN ON FLOOR PLANS IN VTR LOCATIONS.
7. CONTRACTOR SHALL OBTAIN AND FURNISH ALL PERMITS, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.	19. HOT AND COLD WATER SUPPLY PIPING A HANDICAPPED LAVATORIES SHALL BE INST DISABILITIES ACT, WITH FACTORY FABRICATED RESIN INSULATION.
	20. CONTRACTOR SHALL INSTALL DIELECTRIC DISSIMILAR METALS.
	21. VALVES AND FITTINGS SHALL BE OF SAME TYPE AND ARE INSTALLED.
	22. INSTALL WATER HAMMER ARRESTORS AT ALL FIXTURES WHERE REQUIRED. ARRESTORS SHALL BE INSTALLED PER PLUMBING CODE.

ABBREVIATIONS	SPECIFICATIONS	PROJECTIONS
<p>(NOT ALL ARE USED)</p> <p>AC AIR CONDITIONING</p> <p>AFF ABOVE FINISHED FLOOR</p> <p>AG ABOVE GRADE</p> <p>AHU AIR HANDLING UNIT</p> <p>AD ACCESS DOOR</p> <p>APPROX APPROXIMATELY</p> <p>BDD BACK DRAFT DAMPER</p> <p>BOD BOTTOM OF DUCT</p> <p>BTU BRITISH THERMAL UNIT</p> <p>CAP CAPACITY</p> <p>CD CONDENSATE DRAIN</p> <p>CFM CUBIC FEET PER MINUTE</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONN CONNECTION</p> <p>CU CONDENSING UNIT</p> <p>DB DRY BULB</p> <p>DG DOOR GRILLE</p> <p>DI DIGITAL INPUT</p> <p>DN DOWN</p> <p>DO DIGITAL OUTPUT</p> <p>EAT ENTERING AIR TEMPERATURE</p> <p>EER ENERGY EFFICIENCY RATIO</p> <p>EF EXHAUST FAN</p> <p>EG EXHAUST GRILLE</p> <p>ELEC ELECTRICAL</p> <p>EMS ENERGY MGMT. SYSTEM</p> <p>EX EXHAUST</p> <p>ENTERING</p> <p>ESP EXTERNAL STATIC PRESSURE</p> <p>F FAHRENHEIT</p> <p>FA FILTER ACCESS</p> <p>FACP FIRE ALARM CONTROL PANEL</p> <p>FCD FLOW CONTROL DAMPER</p> <p>FD FLOW DAMPER</p> <p>FLA FULL LOAD AMPACITY</p> <p>FPM FEET PER MINUTE</p> <p>FPMB FAN POWER MIXING BOX</p> <p>FS FIRE STAT</p> <p>HP HORSEPOWER</p> <p>HZ HERTZ</p> <p>IN-H2O INCHES OF WATER</p> <p>KW KILOWATT</p> <p>LAT LEAVING AIR TEMPERATURE</p> <p>LAT LATENT</p>	<p>1.0 <u>BASIC MATERIAL AND METHODS</u></p> <p>1.1 <u>SCOPE OF WORK</u>          PROVIDE LABOR AND MATERIALS AS REQUIRED TO PROVIDE A FULLY FUNCTIONING AND COMPLETE SYSTEM AS INDICATED ON DRAWINGS. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT. FINAL LOCATIONS OF EQUIPMENT SHALL BE FIELD DETERMINED. ALL DISCREPANCIES ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS.</p> <p>1.2 <u>GENERAL AND SPECIAL CONDITIONS</u>          ALL DIVISION 1 SPECIFICATIONS AND ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS OUTLINED IN THE CONTRACT DOCUMENTS APPLY TO MECHANICAL SYSTEMS. ADDITIONALLY, WORK SHALL COMPLY WITH FLORIDA BUILDING CODE AND REGULATIONS OF THE LOCAL AUTHORITY HAVING JURISDICTION, NATIONAL FIRE PROTECTION ASSOCIATION, AND NATIONAL ELECTRICAL CODE. ALL EQUIPMENT SHALL CARRY THE UNDERWRITER'S LABORATORIES (UL) SEAL WHERE APPLICABLE.</p> <p>1.3 <u>QUALITY CONTROL</u>          UNLESS OTHERWISE NOTED, PROVIDE NEW MATERIALS FREE OF DEFECTS. WHERE NO SPECIFIC WEIGHTS OR GRADES ARE SPECIFIED PROVIDE MATERIALS OF AN ACCEPTED STANDARD WEIGHT AND GRADE ACCORDING TO CODE AND GOVERNING STANDARDS BY ASHRAE, SMACNA, NFPA, AND UL. INSTALL ALL EQUIPMENT, PIPING, DUCTWORK, AND CONTROLS IN ACCORDANCE WITH CODES, GOVERNING STANDARDS, AND MANUFACTURER'S RECOMMENDATIONS. FIRE PERFORMANCE CHARACTERISTICS OF INSTALLED MATERIALS SHALL BE RATED IN ACCORDANCE WITH ASTM E84. MAXIMUM FLAME SPREAD RATING SHALL BE 25 AND MAXIMUM SMOKE DEVELOPED RATING SHALL BE 50.</p> <p>1.4 <u>COORDINATION</u>          COORDINATE ALL WORK FOR PROPER LOCATION, POWER, AND UTILITY REQUIREMENTS. SCHEDULE INSTALLATIONS TO AVOID CONFLICT AMONG TRADES. ADDITIONS TO THE CONTRACT FOR COORDINATION AMONG TRADES WILL NOT BE ALLOWED.</p> <p>1.5 <u>PENETRATIONS, CUTTING AND PATCHING</u>          SEAL ALL PIPING AND DUCT PENETRATIONS OF WALLS IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. PIPING PENETRATIONS OF RATED FLOORS AND WALLS SHALL BE</p>	<ol style="list-style-type: none"> <li>1. SUPPORT D</li> <li>2. ALL WORK BUILDING C</li> <li>3. ROUTE ALL AVOID BUILT COORDINATE FAN PRESSURE RECOMMEND</li> <li>4. ALL DIMENS CONSTRUCT</li> <li>5. ALL FINISHE SURFACES</li> <li>6. ALL DEBRIS</li> <li>7. CONTRACTOR RATING AND PENETRATION</li> <li>8. CONTRACTOR NECESSARY IN CONTRACT</li> <li>9. CONDENSING REINFORCEMENT TO MEET W</li> <li>10. MECHANICAL DETECTOR FOR ALL APPLICABLE PROVIDE A KEYED SWITCH DETECTORS SCHEDULES</li> </ol>



# **CCLF MASTER ATTACHMENTS LIST**

## **1.0 OFFICIAL AND FINANCIAL DOCUMENTS**

### **IRS DOCUMENTS**

- IRS Determination Letter for 501(c)3 Status
- W-9
- 2022 Form 990 (note: 2023 990 not yet filed)

### **FLORIDA DOCUMENTS**

- 2024 Annual Report
- Sunbiz Detail By Entity Report
- Consumer Certificate of Exemption
- Articles of Incorporation

### **SPACE FORCE DOCUMENTS**

- License to Use Property
- Memorandum of Agreement

### **FINANCIAL DOCUMENTS**

- 2024 Statement of Financial Position
- Proof of Match
- 2023 Statement of Activity
- Projected Revenue and Expenses Worksheet Notes

### **INSURANCE DOCUMENTS**

- General Liability and Directors and Officers Certificate of Insurance
- Property Certificate of Insurance

## **2.0 PROJECT PLAN, BENEFITS, SUPPORT**

- Project Plan
- Cost Estimate from RZK Architects
- Cost Estimate from Kinley Construction
- CCLF Letter of Commitment
- Project Benefits to Brevard County
- Letters of Support

## **3.0 PHOTOS**

## **4.0 RENDERINGS**

## **5.0 SITE PLANS**

## **6.0 DRAWINGS – 1 - General Phase 1 and Phase 2 Drawings**

## **7.0 DRAWINGS – 2 - Replica Cottage and Education Cottage (Lighthouse Experience) Drawings**

## **8.0 DRAWINGS – 3 - General Phase 1 and Phase 2 Specifications and Details**