



Agenda Report

2725 Judge Fran Jamieson
Way
Viera, FL 32940

Consent

F.1.

12/17/2019

Subject:

Preliminary Development Plan Amendments, Re: Central Viera Planned Unit Development (PUD) Minor Amendment #15. (District 4)

Fiscal Impact:

None

Dept/Office:

Planning and Development

Requested Action:

Staff is seeking the Board's confirmation on proposed amendments to the Central Viera PUD that are not considered substantial and are within the administrative approval authority provided to the Zoning Official by Brevard County Code of Ordinances.

Summary Explanation and Background:

Section 62-1448 (c) provides the Zoning Official the authority to approve minor (non-substantial) changes to the Board approved Central Viera PUD. This section requires the Board's approval for any substantial changes which increase the density or intensity of the project, decreases the amount of buffer areas from adjacent property, or decreases the amount of common open space. Section 62-3206(f) allows staff to approve alternative parking standards. Staff is seeking the Board's concurrence that proposed provisions for off-site parking and community signage are not increasing the intensity of the project and are within staff's administrative authority.

The proposed amendment establishes an alternative off-site parking standard which allows the Viera Town Center to have parking areas dedicated to off-site businesses. In addition, the proposed amendment creates community development signage which may be permitted in two locations adjacent to I-95 and shall have a maximum height of 30 feet. These signs are limited to only displaying the community name of Viera and the Viera logo.

The Central Viera PUD Minor Amendment #15 proposes to:

- update the boundary and Alternative Development Standards (ADS) of Parcel 4a
- update the Open Space Table
- adds provisions for Development Entitlement Tracking
- establishes provisions for Community Signage and
- adds provisions for Off-Site Parking to the ADS. In order to utilize these parking areas, a business must demonstrate the following:
 - the parking area is within ¼ mile of the business

- ADA compliant parking is provided
- the parking area cannot be separated by Stadium Parkway, Lake Andrew Drive, or Judge Fran Jamieson Way
- pedestrian routes between the business and the parking area must be constructed prior to a Certificate of Occupancy being issued
- authorization to use the spaces and tracking chart will be included in the site plan submittal
- directional signage will be installed to help patrons locate parking areas

Clerk to the Board Instructions:

None



Tammy Rowe, Clerk to the Board, 400 South Street • P.O. Box 999, Titusville, Florida 32781-0999

Telephone: (321) 637-2001
Fax: (321) 264-6972
Tammy.Rowe@brevardclerk.us

December 18, 2019

M E M O R A N D U M

TO: Tad Calkins, Planning and Development Director

RE: Item F.1, Preliminary Development Plan Amendments for Central Viera Planned Unit Development (PUD) Minor Amendment #15

The Board of County Commissioners, in regular session on December 17, 2019, confirmed proposed amendments to the Central Viera PUD that are not considered substantial and are within the administrative approval authority provided to the Zoning Official by Brevard County Code of Ordinances.

Your continued cooperation is greatly appreciated.

Sincerely yours,

BOARD OF COUNTY COMMISSIONERS
SCOTT ELLIS, CLERK

Tammy Rowe, Deputy Clerk

/cw

cc: County Attorney

GRIMES GOEBEL
Grimes Hawkins Gladfelter & Galvano, P.L.
Attorneys at Law Est. 1922

Caleb J. Grimes
Jack Hawkins
Leslie Horton Gladfelter
Bill Galvano
Derin Parks
Sacha Ross
Kyle W. Grimes

Reply to: Bradenton

November 5, 2019

Mr. Tad Calkins
Director, Planning & Development Department
Brevard County
2725 Judge Fran Jamieson Way
Viera, FL 32940
tad.calkins@brevardfl.gov

RE: Viera DRI/Central Viera PUD Minor Amendment #15

Dear Tad:

On behalf of our client, The Viera Company, we respectfully request the review and approval of Minor Amendment #15 for the Central Viera PUD and Parcel 4a Alternative Development Standards (“ADS”). Enclosed with this application you will find the PUD with exhibits including the ADS. Our office has compiled previously approved Minor Amendments (that are still applicable) into this PUD to create a concise document with all approvals to date. Below is a detailed list of proposed revisions and additions for consideration in Minor Amendment #15, as well as a list of approved Minor Amendments that have been incorporated into the complete PUD.

Changes for Minor Amendment #15:

- Update Boundary of Parcel 4a on Exhibit B (Central Viera PUD Detailed Plan) – Page 8
- Update Open Space Table and Open Space Provided (Section 1 & Section 2) of PUD – Pages 12 & 13
- Add provisions for Development Entitlement Tracking (Section 26) of PUD – Pages 20
- Add provisions for Community Signage (Section 27) of PUD – Page 20
- Update Boundary of Parcel 4a in Overview Section of the ADS – Page 1
- Add provisions for Off-Site Parking to ADS – Page 13 & 14

Below are the updates made based on the Minor Amendments previously approved:

- 1st Minor Amendment – PUD: Add to new section “Parcel Specific Minor Amendments” (Page 25)
- 2nd Minor Amendment – ADS: Replace Page 3 (Access Management Plan)
- 3rd Minor Amendment – ADS: Insert Page 11A
- 5th Minor Amendment – ADS: Update Page 12
- 7th Minor Amendment – PUD: Update Page 12

- 8th Minor Amendment – ADS: Replace Page 13 and 14
- 9th Minor Amendment – ADS: Insert Page 8A
- 10th Minor Amendment – PUD: Update Pages 8-10
- 11th Minor Amendment – PUD: Replace Exhibit A (Development Program)
- 12th Minor Amendment – PUD: Add to new section “Parcel Specific Minor Amendments” section (page 25)
- 13th Minor Amendment – PUD: Replaced Exhibit B, Central Viera PUD Detail Plan
- 14th Minor Amendment – ADS: Update Page 14

Sincerely,

A handwritten signature in black ink, appearing to read "Darendra D. Marvin". The signature is fluid and cursive, with the first name being the most prominent.

Darendra D. Marvin, AICP

Viera DRI / Central Viera PUD

Minor Amendment #15

Prepared for:
The Viera Company
7380 Murrell Road, Suite 201
Viera, FL 32940



Prepared by:

GRIMES GOEBEL
Grimes Hawkins Gladfelter & Galvano, P.L.
Attorneys at Law Est. 1922

**Submittal Date:
November 2019**

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Application & Authorization to Act on Behalf of Owner



**BREVARD COUNTY PLANNING AND DEVELOPMENT
APPLICATION FOR ZONING ACTION, COMPREHENSIVE PLAN AMENDMENT OR VARIANCE**

All applications with fees must be submitted in person. Call 321-633-2070 for an appointment at least 24 hours in advance. DO NOT MAIL THE APPLICATION. An approval does not entitle the owner to a development permit.

Existing FLU DRI Existing Zoning PUD
Proposed FLU _____ Proposed Zoning _____

APPLICATION NAME

- COMPREHENSIVE PLAN (CP)**
 Large Scale Amendment Small Scale Amendment
 Text Amendment - Element
 Other
- REZONING (Without CUP) (RWOC)**
- COMBINATION - ZONING AND CUP (CORC)**
- CUP (Without zoning) (CUP)**
 - VARIANCE(S) (V)**
 - AA (AA)**
AA Type:
 - OTHER (O):** PUD Amendment

Tax Parcel: T R S S/D Blk/Par Lot
Acreage of Request: 3756.06

Reason for Request: Amendment #15 to Central Viera PUD/ADS

COUNTY PLANNER USE ONLY

ACCELA# _____ Fee \$ _____
Date filed _____ Planner _____
District# _____ Tax Account ID# _____

(list all parcels)
Notification radius (feet) _____ Sign Issued _____

Meeting(s)	Date	Time
NMI	_____	_____
PSJ Board	_____	_____
P&Z / LPA	_____	_____
BCC	_____	_____
BOA	_____	_____

JPA/MIRA/500' of Palm Bay Extension: Yes or No
If Yes, list which _____

Location: _____

Detailed Description: _____

PROPERTY OWNER:

Name: Todd Pokrywa, President of The Viera Company Company: The Viera Company/ A. Duda & Sons, Inc.
Address: 7380 Murrell Rd, Ste 201 E-Mail: todd.pokrywa@viera.com
City: Melbourne State Florida Zip 32940
Phone: (321) 242-1200 Fax: () Cell: ()

APPLICANT IF OTHER THAN OWNER (check): Attorney _____ Agent X Contract Purchaser _____

Name: Darenda D. Marvin, AICP Company: Grimes Goebel Grimes Hawkins Gladfelter & Galvano, P.L.
Address: 1023 Manatee Ave W E-Mail: dmarvin@grimesgoebel.com
City: Bradenton State FL Zip 34205
Phone: (941) 748-0151 Fax: () Cell: ()

The undersigned understands that this application must be complete and accurate prior to advertising a public hearing:
State of Florida County of Manatee | Darenda D. Marvin being first duly sworn, depose and say that I hereby certify that the information in this application and all sketches and data attached to and made a part hereof are true and accurate to the best of my knowledge, and:

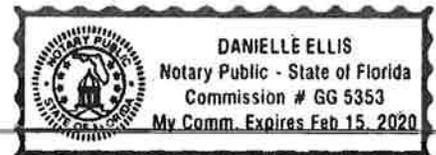
____ I am the owner of the subject property, or if corporation, I am the officer of the corporation authorized to act on this request.
X I am the legal representative of the owner of the subject property of this application. (Notarized statement attached)

Darenda D. Marvin 9/20/19
Signature of Property Owner/Authorized Representative Date

The foregoing instrument was acknowledged before me this 20th day of September, 2019, by Darenda Marvin, who is Personally Known by me OR Produced Identification _____ Type of Identification Produced _____

[Signature]
Notary Public Signature

(NOTARY SEAL)



ACCELA # _____

DOCUMENT SUBMITTAL REQUIREMENTS

Application type	Application	Authorization to Act Form ¹	Recorded Property Deeds	Legal Description of Request ²	Certified Survey ⁸	Property Appraisers Map	Concurrency	School Concurrency ³	Wetland Survey ⁴	CUP Worksheet & Sketch ⁵	Comp Plan Information ⁶	Notice to Applicants	Neighbors Affidavit ⁷	Letter to Zoning Official	Variance Hardship Worksheet ⁹	*Additional Documentation	Fees	
	NUMBER OF COPIES REQUIRED																	
Staff to check indicating receipt																		
Comprehensive Plan Amendment ⁶	1	1	1	2	2	1		1			1						*	Y
Zoning request	1	1	1	1	1 ⁸	1	1	1	1			1					*	Y
Conditional Use Permit (CUP)	1	1	1	1	1 ⁸	1				1		1						Y
AA – Waiver	1	1			1	1							1	1				Y
AA – Easement or Flag lot	1	1	1	1	1	1												Y
Variance	1	1	1	1	1	1									1	*		Y

¹If the property is not owned in entirety by the applicant, either an Authorization to Act form or a notarized letter from each/all property owners of the subject property is required.

²Legal Description must be typed on a separate sheet, if not easily described on the deed.

³School Board Concurrency application is required if the request represents an increase of more than one residential unit.

⁴Wetland Survey required on Commercial or Industrial property.

⁵CUP applications require a completed worksheet and a sketch plan with the application signed by a planner.

⁶Must include Comprehensive Plan Amendment supplemental form reviewed by a planner prior to submitting formal application. The supplement must include a written statement explaining the rationale and the appropriate data and analysis necessary to support the proposed change.

⁷Administrative waivers requiring a signed affidavit from all abutting property owners indicating no objection to the requested waiver of lot size, width or depth requirement. The affidavit must state the specific request.

⁸Survey must be submitted if requested by staff.

⁹Variance Hardship Worksheet must be filled out completely, addressing the six criteria for a hardship.

***Additional information may be requested by staff dependent upon the requested action. These include but are not limited to impact analysis studies:**

Traffic Impact Analysis (TIA): TIA must be submitted if required by the County Traffic Engineer. Analysis methodology must be coordinated with the Traffic Engineering Office.

Environmental Impact Analysis: The analysis must be conducted by a qualified environmental professional and dated less than one year old. The analysis must document the types of habitat found on site; identify vegetation types, soils types, wetlands, floodplain; and any other environmental concerns.

Water and Sewer Demand: Identify the potable water and sanitary sewer demand for the amendment based on the current and proposed future land use designations using the per capita water and wastewater standards of the applicable service provider.

Overall Development Program by DRI Parcel

The Central Viera DRI/PUD Development Program spreadsheet (hereinafter referred to as the "Program Spreadsheet"), attached hereto as Exhibit "A," identifies the specific land use entitlements by parcel (each parcel is hereinafter referred to either individually as a "Parcel" or collectively as "Parcels"). While the zoning designations of the land within the Parcels subject to the Central Viera PUD are primarily PUD, the Central Viera PUD contains some areas that still have a standard zoning designation. These areas are identified on the Program Spreadsheet and illustrated on the Central Viera PUD Detail Plan (hereinafter referred to as the "Detail Plan"), attached hereto as Exhibit "B".

As set forth in Note 20, herein below, conversions/exchanges are authorized in accordance with the provisions of the Viera DRI Development Order without the requirement to amend this Central Viera PUD.

For purposes of reference only, the current development entitlements for the Viera East PUD (including several tracts with standard zoning) and West Viera PUD are also shown on the Program Spreadsheet. In no event shall alterations to Central Viera PUD development entitlements necessitate amendments to either the Viera East PUD or the West Viera PUD. Conversely, alterations to either the East Viera PUD or the West Viera PUD development entitlements shall not necessitate amendments to this Central Viera PUD.

Zoning		Parcel	MP Residential	Transitional Residential	RV Residential	Other Residential / Permit	AGL	Industrial	Y & C	Heavy	Medium	Office	Government / Office	Other Warehouse	Light Industrial	Residential	Regional Mall	Themed / Entertainment (R)
Central Viera	Central Viera PUD	1	478	0	0	478					120,000	30,000						
	Central Viera PUD	2	0	0	350	350	111		250	140,000	240,130				92,530			
	Central Viera PUD and BU-1	3	0	0	490	490				1,337,460	0			10,250				16 Acres
	Central Viera PUD and AU, BU-1, GU, GML (g)	4	2,211	283	1,133	3,607	249		137,300	280	230,000	1,324,743	186,140		7,500 Acres			
	Central Viera PUD	5	118		324	442	100	322		83,264	232,387							
	Heritage Isle PUD	6	2,100			2,100	640											
	BU-1 to Central Viera PUD	7	180			180												
	Central Viera PUD and TU-2	12	251			251												
Central Viera	<i>Subtotal</i>		5,387	263	2,297	7,408	431	322	137,500	300	2,313,727	1,928,730	186,140	0	702,780	7,500	0	16
West Viera	West Viera	<i>Subtotal</i>				19,497	420	0	0	250	700,000	439,920		0	308,052			0
Viera East	BU-1	A									15,000							
	Viera East - North PUD	AA					120											
	Viera East - North PUD	BB, D	720			720												
	Viera East - North PUD	BB, N	321			321												
	Viera East - North PUD	CC																
	Viera East - North PUD	CC																
	Viera East - South PUD and BU-1-7	DD, FF	147			147												
	Viera East - North PUD	EE, GG	990			990												
	Viera East - South PUD	EE																
	Viera East - South PUD	FF																
	Viera East - South PUD	FF																
	Viera East - South PUD	GG																
	Viera East - N. PUD and TU-2 & BU-1	HH, JJ			888	888						128,300						
	Viera East - South PUD	II	125			125												
	Viera East - S. PUD and BU-1 & PIP	JJ, KK, LL, NN, OO					180					335,000		22,500				
	Viera East - North PUD	K								34,000	55,000							
	Viera East - North PUD	LN	295			295												
	Viera East - North PUD	M																
	Viera East - South PUD	MM, QQ	192			192												
	BU-1 / BU-2	OP, T									397,622	158,000						
	BU-1	RS		200		200												
	BU-1	RS, SS									13,330	83,000						
	BU-1	TT, UU									36,548	75,867			85,238			
Viera East - North PUD	VX	330			330													
Viera East - North PUD and PIP	WQ	330			330													
Viera East - North PUD	YI																	
Viera East - North PUD	Y2																	
Viera East - North PUD	Z																	
Viera East	<i>Subtotal</i>		3,456	0	764	4,224	301	0	0	0	625,000	708,867	22,500	85,238	0	0	0	
TOTAL						21,819	1,171	322	137,500	250	3,438,127	3,697,617	186,140	22,500	500,000	7,500 Acres	0	16 Acres

Exhibit A - September 2018

Viera DRIPUD Development Program

Development Program Footnotes:

- (a) Nursing home allocations removed from Parcel 6 is included in Parcel 4 allocations
- (b) Attraction & Amusement is permitted in Parcels 1, 2, & 4
- (c) Parcel 1 includes Baseball Spring Training Facility & Stadium, associated practice fields, auxiliary facilities and a heliport.
- (1) Total DRI Acreage: 20,646 acres (including Viera Viera PUD)
- (2) Zoning: PUD, except as identified herein, and as illustrated on Viera Central DRI PUD Detail Plan.
- (3) Development Standards per the approved PUD Zoning designation or as specified by the standard zoning.
- (4) Institutional Uses such as churches, libraries, post offices, fire or police stations, and other public uses are allowable in any development parcel, in addition to the other designated uses shown on Map H of the DRI Development Order.
- (5) Medical offices may include physician offices, medical clinics, labs, and diagnostic centers, ambulatory facilities, surgery centers, urgent care centers, emergency care including heliport, rehabilitation centers, medical equipment sales and services, hospice, home health, pharmacies, cancer centers, hospitals or other similar medical offices or specialty medical services or uses.
- (6) Independent Living Facilities and duplexes are permitted residential uses in Parcels 2, 3, 4 and 5. R.F. and duplex units allocations are subject to utilization of the equivalency matrix and compliance with Equivalency Matrix Note 2D of PUD.
- (7) A simultaneous increase and decrease in each Residential category (SF and MF) is allowed, however, this shall not authorize an overall increase in the number of Residential dwelling units unless such change is part of an approved Land Use Exchange pursuant to the terms of the Development Order for the DRI. In any event, open space must be provided consistent with the Brevard County Regulations and with the provisions as outlined within the DRI.
- (8) Parcel 4 figures include Parcel 4A (Town Center District). Parcel 4A is part of Parcel 4.
- (9) Viera West and Viera East are included for informational purposes only and are subject to change.

Feb 2016 PUD Amendment

- (1) 36,750 SF of Light Industrial from Parcel 3 of Central Viera PUD to Village District of West Viera PUD

Feb 2017 PUD Amendment

1. Parcel 7, transfer
 - a. 30 Multi-family Units to Single-family Units
 - b. 220 Multi-family Units to Parcel 4

May 2018 PUD Amendment

1. Parcel 4; internal transfer
 - a. 37 Townhouse Units to Multi-Family
 - b. 136 Single-Family units to Multi-Family

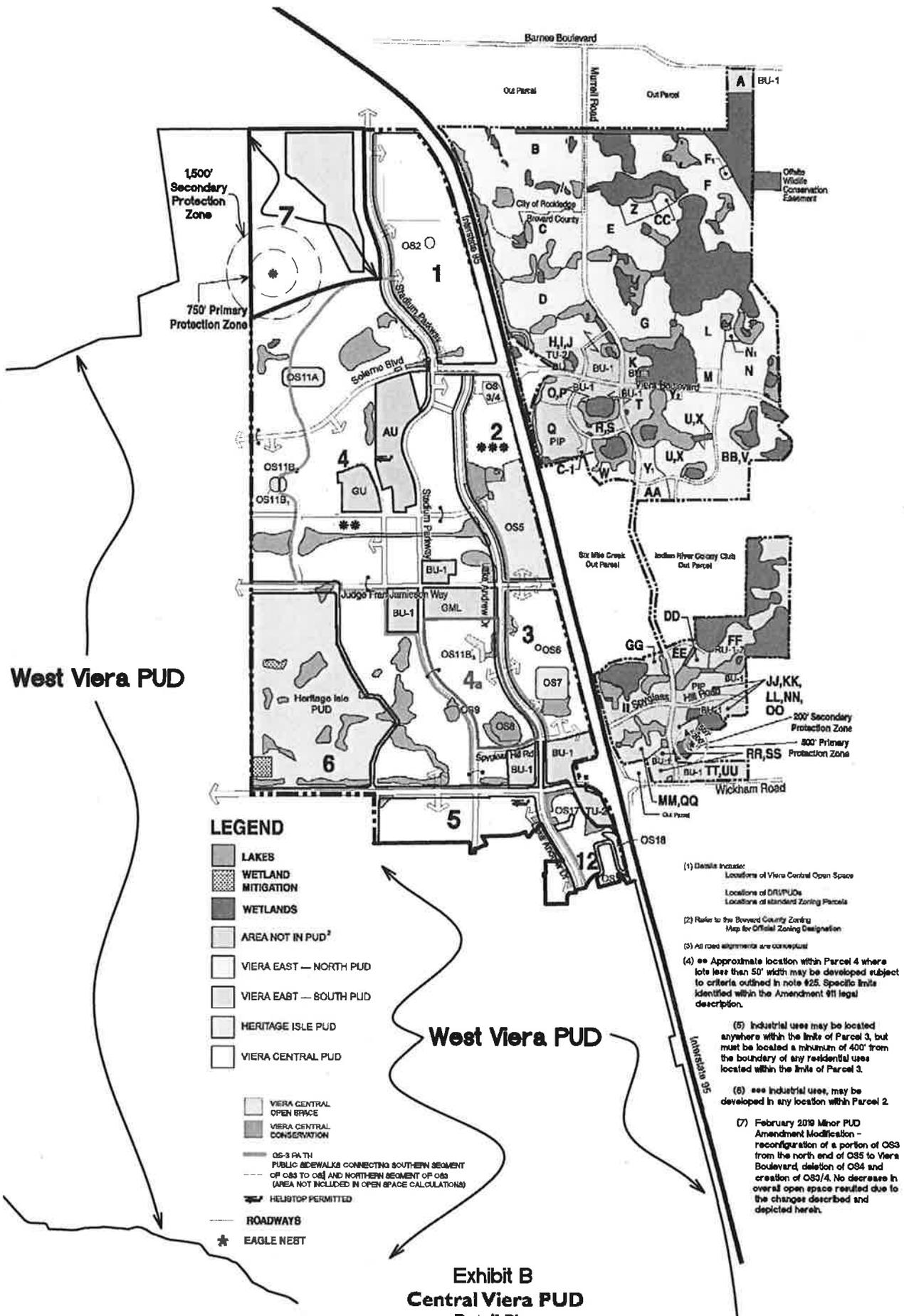
September 2018 PUD Amendment

1. True-up of development numbers with Viera East and West Viera to match Development Order entitlements approval.

November 2019

1. Update to reflect exercise of land use exchange as authorized by Condition 4 of the Viera DRI Development Order.

Central Viera DRI/PUD Detail Plan



LEGEND

- LAKES
- WETLAND MITIGATION
- WETLANDS
- AREA NOT IN PUD¹
- VIERA EAST — NORTH PUD
- VIERA EAST — SOUTH PUD
- HERITAGE ISLE PUD
- VIERA CENTRAL PUD
- VIERA CENTRAL OPEN SPACE
- VIERA CENTRAL CONSERVATION
- OS-3 PATH
- PUBLIC SIDEWALKS CONNECTING SOUTHERN SEGMENT OF OS3 TO OS4 AND NORTHERN SEGMENT OF OS3 (AREA NOT INCLUDED IN OPEN SPACE CALCULATIONS)
- HELICOPTER PERMITTED
- ROADWAYS
- EAGLE NEST

- (1) Details include:
Locations of Viera Central Open Space
Locations of DRUPUDs
Locations of standard Zoning Parcels
- (2) Refer to the Brevard County Zoning Map for Official Zoning Designation
- (3) All road alignments are conceptual
- (4) Approximate location within Parcel 4 where lots less than 50' width may be developed subject to criteria outlined in note #25. Specific limits identified within the Amendment #11 legal description.
- (5) Industrial uses may be located anywhere within the limits of Parcel 3, but must be located a minimum of 400' from the boundary of any residential uses located within the limits of Parcel 3.
- (6) Industrial use, may be developed in any location within Parcel 2.
- (7) February 2010 Minor PUD Amendment Modification - reconfiguration of a portion of OS3 from the north end of OS5 to Viera Boulevard, deletion of OS4 and creation of OS3/4. No decrease in overall open space resulted due to the changes described and depicted herein.

**Exhibit B
Central Viera PUD
Detail Plan**

October 2009
(Amendment #11)

CU Project # 10746
10/14/09
Viera 2007/2008 PUD March Update

Client:
Steve Johnson
The Viera Company
7380 Murrell Road, Suite 201
Viera, Florida 32940
321-931-3200



Planner:
George Krzycki
Clayton Johnson Karner Lehigh, Inc.
1301 N. Orange Ave.
Orlando, FL 32801
407-643-6551

Engineer:
Hester Kozel, P.E.
H&E Consulting Inc.
312 S. Harbor City Blvd.
Maitland, FL 32751
321-755-2174

Central Viera PUD Development Notes

SITE ACREAGE:

Overall Central Viera PUD Acreage: 3765.06 +/- Acres.

PROPOSED CHANGES:

1. Update Boundary of Parcel 4a on Exhibit B
2. Update Open Space Table and Open Space Provided
3. Add provisions for Development Entitlement Tracking
4. Add provisions for Community Signage
5. Update Boundary of Parcel 4a in Overview Section of the ADS
6. Add provisions for Off-Site Parking to ADS
7. Update overall PUD & ADS to reflect previously approved minor amendments

OPEN SPACE & DEVELOPMENT NOTES

1. Central Viera Open Space Calculations (Revised June 4, 2018)

Brevard County Zoning Code Criteria (a):

Total Residential Units = 5,598
 2,254 Multi-Family & Townhouse Units
 3,344 Single-Family & Duplex Units

TOTAL CENTRAL VIERA PUD ACREAGE 3,765.06

Non-Residential Area Summary

Viera Day Care/Manatee Elementary	38.65
Stadium East (school, catholic church, conservation) (See Note 3)	199.57
Presbyterian Church	5.00
Church at Viera	45.00
Christian Church @ Viera	4.51
Duran Practice Facility	38.71
Water's Edge Outparcels	4.34
Viera Health Complex	50.00
Avenue @ Viera	61.66
Market Center	18.57
Bromley Center (excluding OS lake)	85.34
Lake Andrew Drive Commercial Center	11.81
Undeveloped portion of Parcel 2 (See Note 1)	121.87
Undeveloped portion of Parcel 3	15.85
Mormon Church	6.25
Trafford West (Quest Elementary)	20.19
Lexus of Melbourne	9.00
South Solerno Commercial Center	18.45
NE Corner of Stadium & Wickham Road	30.55
NW Corner of Viera & Stadium	28.38
NE Corner of Stadium/Viera	15.99
Brighthouse Cablevision	3.30
Breslay Commons (See Note 2)	59.24
<u>SUBTOTAL NON-RESIDENTIAL ACREAGE*</u>	892.73
TOTAL RESIDENTIAL/MIXED-USE ACREAGE	2872.83

Notes:

1. Undeveloped portion of Parcel 2 is 141.87 acres; 20.0 acres set aside for the future development of up to 300 MF units per the proposed Development Program
2. Breslay Commons acreage is shown without potential MF Development within that parcel
3. Stadium East area includes Lot 3 (35.56 ac), which is undeveloped and will not be used for future MF Development
** Reflects total committed and planned non-residential acreage to date.*

2,360 Multi-Family Units & Townhouse Units ÷ 5,598 Residential Units =	0.4216
3,238 Single-Family Units & Duplex Units ÷ 5,598 Residential Units =	<u>0.5784</u>
	100.0%

0.4216 x .25 % (Multi-Family)	0.1054
0.5784 x .10 % (Single-Family)	+ <u>0.0578</u>
	0.1632

0.1632 x 2,872.83 Total Residential/Mixed-Use Acres = 468.85 Acres of Required Open Space

Brevard County Zoning Code Criteria (b):

1.5 Acres per 100 Residential Units (MF or SF) = 83.97 Acres of Open Space (1.5 x 55.98 = 83.97)

Minimum Open Space Required per Brevard County Zoning Ordinance is the greater of either method (a) or (b) = 483.08 Acres

Open Space Provided				
Tract	OS ID	PDP Area (Ac)	Developed (Ac)	Comments
1	OS-2	2.5	2.5	Tract I of Sonoma
Subtotal, Tract 1		2.5	2.5	
2	***OS-3/4	12.1	33.16	Viera Blvd. Commercial Center, Phase 1
2	OS-5	124.62	124.62	Plat Recorded (includes 1.448 ac of area depicted as part of OS-3)
Subtotal, Tract 2		136.72	157.78	
3	OS-6	0.8	0.84	Developed
3	OS-7	28.66	28.66	Complete
Subtotal, Tract 3		29.46	29.5	
4a	A & A1	15	0.21	Phase 1 of Arrivas Village
4a	D & D1		0.77	Phase 1 of Arrivas Village
4a	E**		0.22	Phase 1 of Arrivas Village
4a	J**		0.24	Phase 1 of Arrivas Village
4a	K**		0.27	Phase 1 of Arrivas Village
4a	L & L1		0.14	Phase 1 of Arrivas Village
4a	P-1		10.07	Phase 1 of Arrivas Village
4a	P-2		0.96	Phase 1 of Arrivas Village
4a	P-3		0.39	Phase 1 of Arrivas Village
4a	W		1.17	Phase 2 of Arrivas Village
4a	X**		0.39	Phase 2 of Arrivas Village
4a	Y		0.67	Phase 2 of Arrivas Village
4a	Z		0.56	Phase 2 of Arrivas Village
4a	NN		0.36	Phase 3 of Arrivas Village
4a	RR		0.04	Phase 3 of Arrivas Village
4	OS-9		4.77	4.77
4	OS-11A	18.37	18.37	Complete
4	OS-11B1	4.24	4.24	Complete
4	OS-11B2	2.76	2.76	Complete
4A	OS-11B3A	3.00	0.81	Viera Town Center II
4A	OS-11B3B		2.32	Vira Town Center II
	Golf Course	204.903	204.903	Developed *
Subtotal, Tract 4		253.043	254.633	
12	OS-17	3.6	3.6	Platted, Tract E, V.C., PUD, Tract 12, Phase 3 PB Book 44, Page 52.
12	OS-18	6.1	9.3	Platted, Tract I, Tract 12, phase 3 PB 44, Pg 52
12	OS-20	5.8	2.26	Platted Tract J, Phases 3, 4 & 5, PB 44, Pg 52, PB 44, Pg. 91 & PB 45, Pg. 22
Subtotal, Tract 12		15.5	15.16	
		437.223	459.573	
<i>Note: See Exhibit C for status of OS-3</i>				
Open Space Verification				
Total Open Space developed/proposed				
Inclusive of regional park =			459.573	
OS-3 Development (see Exhibit C) =			44.51	

Total (rounded for consistency with Central Viera PUD) =		504.08	
504.083	ac. provided/483.08 acres required =	100.00%	

* Reflects a May 2008 adjustment for deed of a 2.0' wide strip associated with Lot 42, Block G, Fairway Lakes Phase 2 and September, 2014 adjustment for deed of a 0.003 acre parcel associated with Lot 7, Block A of Wyndham at Duran

** Area for these parcels is less than platted area due to adjustment to maintain a 7.5' setback to residential development adjacent to open space parcel.

*** Reflects adjustment of OS-3 linear path to a circular pathway along the stormwater lake developed as part of the Viera Commercial Center Subdivision

2. Open Space Provided

As shown on the table above, a total of 504.08 acres of open space will be provided in accordance with the Brevard County Zoning Code.

In addition to the total common open space, Independent Living Facilities (ILF) shall provide a minimum of 25% on-site open space per Section 62-1836.5, as amended from time to time.

3. Location and Configuration of Open Space

The majority of open space amenities have been constructed. For those portions yet to be constructed, the location and configuration of pathways, greenways/parks, lakes and other areas shown for open space credit on the Detail Plan are conceptual. The exact location, size and configuration of each open space parcel shall be determined at the time of final site

planning. Modifications to the open space provided may be made as a Minor Amendment to the PUD as long the total open space meets the minimum required for the PUD, consistent with Note 18, below; and such that the proposed modification will not decrease overall open space or the amount of buffer areas from adjacent property. In no case, however, will the total amount of open space provided at buildout be less than the minimum required by the Zoning Code.

Based upon the Open Space developed to date, and the remaining development program, the Central Viera PUD currently meets and exceeds all open space requirements.

4. Pedestrian Pathway System

The majority of the pathway system has been constructed. For those portions yet to be constructed, the pathway system shown on the Detail Plan is conceptual. For purposes of open space calculations, the pathway has been calculated with an average width of 50 feet. The pathway system varies in width from 25 feet to 100 feet wide, depending on site conditions and the final site plan.

5. Consistency with Brevard County Comprehensive Plan

The Future Land Use Element designates the area of the Central Viera PUD as DRI land use. The number of dwelling units and intensities of non-residential land use contained in the Central Viera PUD are consistent with the densities and intensities of land use approved in the Viera DRI. Therefore, the Central Viera PUD is consistent with the Brevard County Comprehensive Plan.

6. Gross Density

The gross residential density of the PUD is 1.60 dwelling units per acre. In no case shall the overall number of dwelling units permitted in the PUD be inordinately allocated to any particular portion of the total site area.

Dwelling units shall not be deemed to be inordinately allocated to any particular portion of the total site area provided they are in accordance with the provisions of Note 9 Net Densities.

7. Allowable Non-Residential Land Uses

Non-residential uses allowable within the PUD include hotel, retail, office, institutional, light industrial, office/warehouse, health care, and theater/ attraction/entertainment uses and associated or customary ancillary uses. The location of these uses is identified on the Viera DRI/PUD Development Program Spreadsheet and the Viera DRI/PUD.

8. Institutional Uses

Institutional uses such as schools, police, fire and public safety facilities, libraries, museums, places of worship and other similar public/civic uses are allowable in any Central Viera PUD tract, consistent with the Viera DRI Development Order.

9. Net Densities

Net density is defined as the number of units per net acre. Net acreage is exclusive of non-residential acres, stormwater ponds, open space, major road right-of-ways, and conservation areas. Net densities for individual parcels within the overall tract may exceed the tract net density so long as the overall tract density is not exceeded at tract buildout.

10. Minimum Lot Area, Frontage and Setbacks

Minimum lot area, frontage and setbacks shall be in accordance with Brevard County Zoning Code, section 62-1446 (d) except as otherwise provided herein with respect to (a) development utilizing the Town Center District Alternative Development Standards as defined herein and (b) that portion of Parcel 4 identified in Exhibit "B"(Detail Plan)" which may be developed in accordance with the standards set forth in Note 25, hereinbelow.

Due to the proximity and relationship to the West Viera PUD, the requirements of Section 62-1446 of the Brevard County Land Development Regulations requiring a minimum 25-foot setback be maintained between the wall of any structure and the property line along the perimeter of the PUD shall not be applicable.

11. Maximum Height of Structures

Maximum height of structures shall be in accordance with the Brevard County PUD code except for Parcel 4a (the "Town Center District") and Parcel 5 as described below:

Parcel 4a: The maximum height of commercial and mixed-use buildings shall be 110'.

Parcel 5, Health First Development: The Maximum height of the hospital building shall be 85' (excluding incidental building elements such as equipment rooms, elevator rooms and mechanical equipment screens, provided, however, that the vertical distance measured from the average elevation of the finished development grade of the building site to the highest point, including roof system, of any such equipment room, elevator room or mechanical equipment screen shall not exceed 118'); and also excluding any vertical architectural feature designated as a spire, flag pole, or vertical pole provided, however, that the vertical distance measured from the average elevation of the finished development grade of the building site to the highest point of the vertical architectural feature shall not exceed 132'); with a minimum 600' building setback from the western boundary of the Wickham Lakes Subdivision. All other medical buildings/structures in the Health First facility shall comply with the maximum height of structures in accordance with the Brevard County PUD code.

12. Minimum Floor Area Per Unit

Minimum floor area per unit shall be in accordance with the Brevard County PUD code.

13. Dedication and Management of Community Open Space

The developer has established a Master Association, which is generally responsible for the maintenance of all community open space within the PUD. The Master Association or District Associations established by the developer shall manage all community and

neighborhood open space and recreational facilities that are not dedicated to the public, and shall provide for the maintenance, administration and operation of such land, and shall secure adequate liability insurance on such land.

14. Location and Size of Conservation Areas

For those portions of land yet to be developed, the exact location and size of conservation areas, including wetlands, upland conservation areas and mitigation areas may vary slightly pending final permitting and engineering.

15. Stormwater Lake Location and Configuration

It should be noted that the configuration and exact location of the lakes shown on the stormwater management plan are conceptual. Final configuration and size will be determined at the time of final site engineering and construction permitting. In no case however, will the final size of the lakes that have been counted toward open space credit be less than that shown in the open space table.

16. Phasing

The Central Viera PUD will be developed in phases. Each tract or parcel within a tract will be developed in a unified manner with the required infrastructure, including onsite and offsite roads, water, sewer, and stormwater drainage to enable the tract, or parcel within a tract, to be an independent unit. The phases will be developed in accordance with market conditions which shall determine the geographic location and timing of development. Multiple tracts within Central Viera PUD can be developed concurrently.

17. Wickham Lakes Tract 12

Tract 12 has been platted in 5 phases and is represented in this PUD consistent with approved plats.

18. Provision of Open Space

Provision of open space, including golf, parks, and other open space, has occurred concurrent with residential units as follows:

% of Residential Units Developed	% of Open Space Acres Provided
10	10
20	10 to 20
30	20 to 30
40	30 to 40
50	40 to 50
60	50 to 60
70	60 to 70
80	70 to 80
90	80 to 90
100	90 to 100*

*100 % open space acreage to be provided at buildout.

19. Balance of Uses

Viera is unique since it is a New Town as described in the County's Future Land Use Element of the Comprehensive Plan and approved by the Board of County Commissioners in 1995. The Viera New Town is a fully mixed use community with land uses serving a population that includes residents of surrounding counties, as well as Viera residents and Brevard County citizens. The range of non-residential development at Viera is broad and includes hotel, retail, office, health care facilities, industrial, theater, entertainment, a baseball spring training facility, a Veterans Administration clinic, and many other such uses.

As an established mixed-use PUD, the development of residential and non-residential uses shall be independent of one another and in accordance with the phasing set forth in the Viera DRI Development Order.

20. Equivalency Matrix

A land use equivalency matrix has been approved for the Viera DRI as set forth in the Viera DRI Development Order. Land use conversions/exchanges within all lands subject to the Viera DRI Development Order are allowable in accordance with the provisions set forth in the Viera DRI Development Order. Conversions/exchanges solely within this PUD shall be allowed without Amendment of this PUD. Conversions/exchanges not solely within this PUD shall be allowed through amendment of this PUD.

The Development Spreadsheet establishes maximum numbers for each type of use within the PUD. Notwithstanding the equivalency matrix,

- Exchanges from multi-family to single-family are only permissible providing that open space is provided consistent with the Brevard County Land Development Regulations.

- Exchanges from single family to multi-family use, which are greater than the maximum number shown in the development program spreadsheet, are permissible providing that open space is provided consistent with the Brevard County Land Development Regulations.
- Single-family use cannot be exchanged for multi-family, duplex, townhouse, or ILF use without an amendment to the Central Viera PUD Agreement, which will address appropriate open space, buffering, setbacks, and location criteria.
- Notwithstanding the preceding note, exchanges from single-family to multi-family, where the proposed site will be greater than 1000' from existing single-family residential homes, shall be considered an administrative amendment.
- Exchanges from single-family to multi-family that are 1000' feet or less from existing single-family residential homes may, at the discretion of the Zoning Manager, be considered a substantial change to the DRI/PUD, which will require a public hearing.
- Independent Living Facilities (ILF) are considered Senior Housing Attached and Senior Housing Detached on the Equivalency Matrix.
- Duplexes are considered Multi-family on the Equivalency Matrix
- Conversions/Exchanges of Accessory Dwelling Units (ADU) from the West Viera PUD into the Central Viera PUD will not be permitted.

21. Standard Zoning within the Viera PUD/DRI

Tracts identified with a specific zoning on the Detail Plan shall have the zoning designated on the map and shall not have a DRI/PUD Zoning Designation. Such tracts may be developed at the densities and intensities identified on Map H of the DRI, but shall have development standards and uses consistent with their standard zoning designation.

22. Industrial Uses within Viera PUD/DRI

Rock Mining Operations within Parcel 7 have been completed and the mining area is now undergoing reclamation as a stormwater/recreational lake to serve the adjacent lands. Industrial Uses within Parcel 7 ceased upon the completion of the Rock Mining Operation and no other Industrial Uses are proposed or permitted within Parcel 7. Residential use will be allowed within Parcel 7 consistent with the Detail Plan.

Industrial uses, consistent with the PIP Zoning District, are permitted in Parcels 2 and 3 as shown on Exhibit B. Such uses may be permitted in areas defined on the Detail Plan.

Residential and non-residential uses may be transferred or moved to this area subject to compliance with the Equivalency Matrix and provision of adequate open space per the Zoning Code.

Light Industrial uses, consistent with the Light Industrial, IU Zoning District, are permitted in Parcels 2 and 3 as identified within Exhibit B, Detail Plan.

23. Helistop as part of the Health First Development Program

The Health First development, which will encompass approximately fifty acres at the southwest corner of Wickham Road and St. Andrews Drive, may include a helistop to serve the medical facility. The medical facility will not be a trauma center, and will have limited flights in and out of the facility. There will be no fueling areas at the facility. Flight paths will not be directed over the Wickham Lakes neighborhood, and will arrive and depart from the North, West, and South of the subject property. At the time of final engineering, the helistop will comply with all applicable FAA and zoning regulations relating to the proposed use. The proposed location is identified on the Detail Plan.

24. Town Center District: Alternative Development Standards

Development standards applicable to land development and uses within Parcel 4a were approved as part of Amendment # 10 and attached hereto as Exhibit D (the "Town Center District Alternative Development Standards"). Development and uses within Parcel 4a shall be consistent with the Town Center District Alternative Development Standards. To the extent that the Town Center District Alternative Development Standards, or any part thereof, conflict with any provision of Chapter 62 of the Brevard County Code (generally known as the Brevard County Land Development Regulations), the Town Center District Alternative Development Standards shall govern and control.

25. Minimum Lot Width

Lands identified on the Detail Plan may be developed with lot widths (as defined in Brevard County Codes) of less than 50 feet, but no less than 40 feet if the following criteria are met:

- a) Lot depth shall be a minimum of 140 feet.
- b) Overall lot area shall be at least 120% of the minimum lot area of 5,000 sf as set out in Section 62-1446 of the Land Development Code.
- c) At least 80% of the lots must be adjacent to non-development tracts, including, but not limited to, parks, stormwater ponds and landscape buffers.

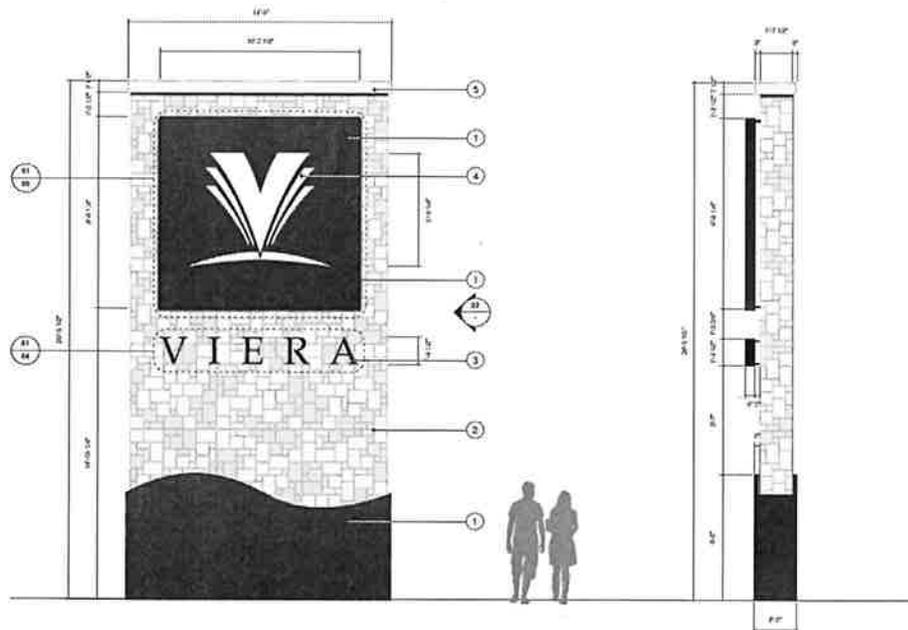
- d) Single family detached structures shall have a minimum side yard setback of five (5) feet. All other setbacks shall be as defined in Section 62-1446.

26. Development Entitlement Tracking

Applications for site plan approval for non-residential development or for multi-family residential development shall be accompanied by a letter from the master developer under the Viera DRI Development Order which specifies the amount of development entitlements in terms of square feet or number of dwellings units that have been allocated to the applicable site. For non-residential development the letter shall also specify the land use category (Office, Hospital/ Health Clinic, Industrial, Retail and Service, Hotel, Attraction/Recreation) from which the entitlements should be deducted. The entitlement tracking process is intended to maintain compliance with Exhibit 4 of the Viera DRI Development Order, the PUD’s Development Program and related trip generation.

27. Community Signs

A maximum of two community signs may be permitted adjacent to Interstate 95 and shall have a maximum height of 30 feet. The signs may not include any information other than the community name, Viera, and the Viera logo. The signs may include embellishments and may be internally or externally illuminated as those terms are defined in Article IX of the Land Development Regulations. Additionally, Directional or Wayfinding Signage is permitted within the PUD pursuant to the terms of the Viera Wayfinding Signage Right-Of-Way Usage Agreement dated November 13, 2018. Community signage shall be substantially similar to the exhibit below



Viera East – North PUD

See Viera East – North PUD file

Viera East – South PUD

See Viera East – South PUD file

Viera – Heritage Isle PUD

See Heritage Isle PUD File

Parcel Specific Minor Amendments



Planning & Development Department
2725 Judge Fran Jamieson Way
Viera, FL 32940

Phone: (321)633-2070
Fax: (321)633-2152
Email: george.ritchie@brevardcounty.us

April 26, 2011

B.S.E. Consultants, Inc.
312 South Harbor City Blvd, Suite #4
Melbourne, FL 32901

RE: Minor amendment of The Viera Central PUD's PDP & ADS for Viera Medical Park
File #: 10580/11083
Dated: March 28, 2011
Legal: Section: 09 Township: 26S Range: 36E
Zoning resolution #: Z-11529

Subject: 1st Minor amendment of the Viera Central PUD's Preliminary Development Plan and Alternative Development Standards (ADS) Package

Dear Mr. Kamal:

Your request for minor amendment of the above mentioned Preliminary Development Plan (PDP) and Alternative Development Standards (ADS) Package is hereby approved on the 26.09 acre tract described within Exhibit B of this amendment request.

With the approval of this amendment, five (5) requested ADS waivers noted below have been approved only for that area stated within Exhibit B:

1. Waiver to allow lot line determination for primary and accessory buildings and for freestanding signs to be measured from the project boundary's legal description listed in Exhibit B;
2. Waiver to allow (front, side and rear) building and sign setbacks to be measured from the project boundary's legal description listed in Exhibit B;
3. Waiver to allow additional freestanding signs: (building identification and office development signs) on the overall parcel consistent with allowance of: one building identification sign for each primary building; and, four (4) office development signs upon the overall site.
 - a. Each of the "building identification signs" shall be limited to five (5) feet in height and 80 square feet in area.
 - b. Each of the "office development signs" shall be limited to twenty (20) feet in height and 150 square feet.
4. Waiver to remove the 100 foot on-site sign separation distance requirement between freestanding signs;

This office can only provide zoning and comprehensive plan information. You may wish to contact other County agencies to fully determine the development potential of this property. This letter does not establish a right to develop or redevelop the property and does not constitute a waiver to any other applicable land development regulations. At the time of development, this property will be subject to all such regulations.

Visit Brevard County's Zoning Homepage at: <http://www.brevardcounty.us/zoning>

5. Waiver to exempt up to 600 square feet in "office development" signage from the amount of cumulative signage allowed by Section 62-3306 (a). Office development signage will comply with waiver #3 listed above.

With the granting of waivers # 3 & 5, it is understood that the maximum allowable sign surface area for the building identification signs, wall signs, projecting signs and window signs will be in compliance with Section 62-3316 (a).

The waiver to exempt ingress/egress signs and other directional signs as freestanding signs is not necessary unless oversized signs are proposed. These types of signs are allowed as exempt signs under Section 62-3307 (2) and are reviewed separately under Section 62-3316 (f). If oversized ingress/egress signs are proposed, then the size area is calculated as part of the overall on-site signage limitations and setbacks are reviewed pursuant to Section 62-3316 (b) (4).

All other unchanged criteria reflected in the existing PDP and ADS continue to be binding upon this site. If you have further zoning questions, please feel free to call George Ritchie, Planner II at (321)633-2070.

Sincerely,



Robin M. Sobrino, AICP, Director
Planning and Development Department
RMS/gcr

Exhibit A
Minor Amendment to the Central Viera PUD
March 8th, 2011
Revised April 18, 2011

1. Project
 - a. Provisions contained within this March, 2011 Minor Amendment to the Central Viera PUD shall apply only to the ± 26.09 acre parcel described in attached Exhibit B (the "Project Tract"). The boundaries of the Project Tract are generally defined as being Wickham Road on the south, Stadium Parkway on the west, the future Napolo Drive on the north and Parcels 26-36-09-00-00754 (Temple Israel) and 26-36-09-00-00753 (Freedom Christian Center, Inc.) on the east.

2. Building Setbacks
 - a. The setbacks applicable to each primary building and accessory building located within the Project Tract, including each interior primary building, shall be as set forth in section 62-1482(5)(a). References to "lot line" in section 62-1482(5)(a) shall be deemed to mean the applicable boundary line of the Project Tract.
 - b. The applicable front, rear and side setbacks for primary buildings and accessory buildings, including each interior primary building, within the Project Tract shall be measured to and from the applicable boundary of the Project Tract as described in paragraph 1 above.

3. Freestanding Building Identification Signs
 - a. Notwithstanding the criteria set forth in section 62-3316(b) regulating the number and separation of freestanding signs or the installation of freestanding development signs as provided in paragraph 4 below, one freestanding building identification sign shall be allowed for each primary building located within the Project Tract.
 - b. The applicable setbacks for freestanding building identification signs within the Project Tract shall be as set forth in section 62-3316(b)(4). References to "property lines" in section 62-3316(b)(4) shall mean the boundary lines of the Project Tract; and such setbacks for the freestanding building identification sign relating to any primary building located within the Project Tract shall be measured to and from the boundaries of the Project Tract as described in paragraph 1 above.
 - c. Each freestanding building identification sign shall be limited to no more than 5' height and a total sign area of 80 square feet.
 - d. Ingress and egress signs and other directional signs shall not be considered as freestanding signs as defined in section 62-3316(b).

4. Freestanding Development Signs
 - a. Notwithstanding the installation of freestanding building identification signs as provided in paragraph 3 above for primary buildings, freestanding development signs identifying the office complex developed on the Project Tract shall be allowed on the Project Tract pursuant to the criteria set forth in section 62-3316(b) regulating the number, size and location of freestanding signs except that the total number of freestanding development signs shall not exceed four (4) signs within the Project Tract. For purposes of freestanding development signs, the term “parcel” as used in section 62-3316(b) shall mean the Project Tract
 - b. The maximum allowable sign surface area for each Freestanding Development sign shall be 150 square feet, with a total aggregate sign surface area for all of the freestanding development signs shall be 600 square feet (4 signs x 150 sq. ft. / sign).

5. Wall Signs
 - a. The criteria for freestanding building identification signs and freestanding development signs in paragraphs 3 and 4 above shall not affect the guidelines and requirements regulating under section 62-3316(c) except as otherwise provided in paragraph 6 below. Wall signs conforming to the criteria set forth in section 62-3316(c) may be attached to any exterior wall of a primary building located within the Project Tract.

6. Maximum Allowable Sign Surface Area
 - a. The maximum allowable sign surface area for each primary building within the Project Tract shall be the sum of the sign surface area of the freestanding building identification sign, wall signs, projecting signs and window signs associated with such building and located on its premises; provided, however, that the calculation of such maximum allowable sign surface area shall not include the freestanding development signs located on the Project Tract.

7. Application
 - a. The above described setback and signage provisions shall only apply if the Project Tract is developed in a manner consistent with the non-residential land uses allowable under Section 62-1482 – General Retail Commercial, BU-1.



Planning & Development Department
2725 Judge Fran Jamieson Way
Building A, Room 114
Viera, Florida 32940

BOARD OF COUNTY COMMISSIONERS

December 26, 2018

Sonata Health Care
301 East Pine Street
Suite 730
Orlando, FL 32801
C/O Mr. Stephen Caruso

RE: 12th Minor amendment of the Central Viera PUD's PDP; request dated December 20, 2018
Tax #: 2632195; AKA Parcel Number: 26-36-05-02-A-1

Dear Mr. Caruso:

This 12th minor amendment of the Central Viera PUD's PDP (**18PZ00169**) is limited to the parcel identified as Tax # 2632195 or as Parcel Number: 26-36-05-02-A-1 located at the NE corner of Breslay Drive and Veterans Way. The request approves an administrative waiver of 920 feet from the 1,000 foot separation distance requirement between Assisted Living facilities as noted within Section 62-1826 (1) of Brevard County Code.

All other criteria reflected within the original or previously amended Central Viera PDPs continue to be binding upon these sites. If you have further zoning questions, please feel free to call George Ritchie, Planner III at (321)633-2070.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tad Calkins', written over a horizontal line.

Tad Calkins, Director
Planning and Development Department
TC/gcr

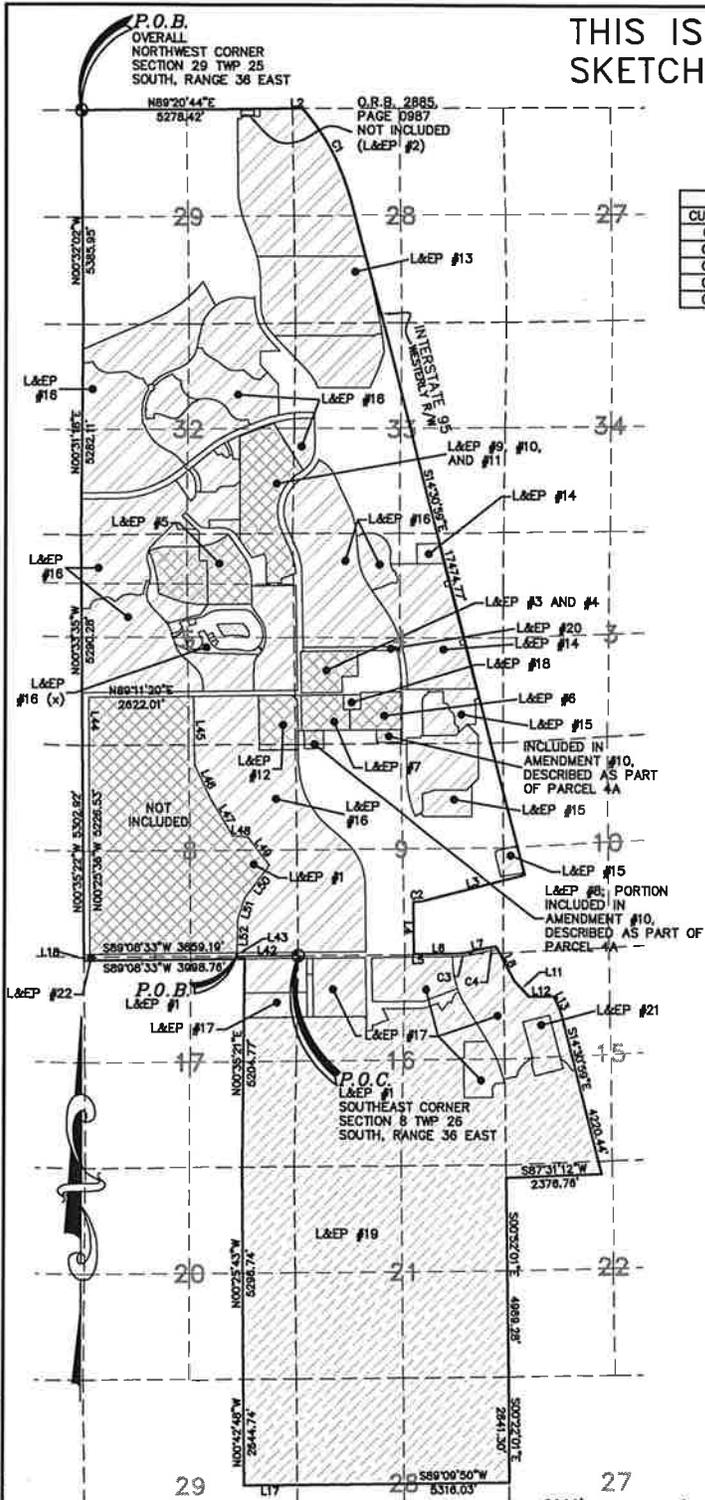
This office can only provide zoning and comprehensive plan information. You may wish to contact other County agencies to fully determine the development potential of this property. This letter does not establish a right to develop or redevelop the property and does not constitute a waiver to any other applicable land development regulations. At the time of development, this property will be subject to all such regulations.

Phone (321) 633-2070 • Fax (321) 633-2087

Visit Brevard County's Zoning Homepage at: <https://www.brevardfl.gov/PlanningDev/Home>

Legal Description and Sketch

THIS IS NOT A SURVEY SKETCH AND DESCRIPTION ONLY



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD	
C1	5579.65'	2618.19'	26°53'07"	S27°57'33"E	2594.23'	
C2	1145.92'	270.45'	13°31'20"	N82°14'42"E	269.82'	
C3	1909.88'	373.80'	11°12'50"	N82°44'32"E	373.20'	
C4	1909.88'	238.85'	7°09'55"	S80°43'04"W	239.69'	
C7	2988.25'	1507.05'	26°53'45"	S52°06'36"W	1491.13'	

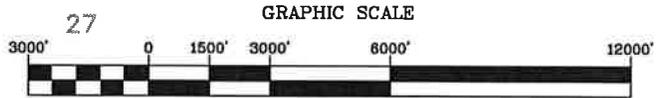
LINE TABLE		
LINE	BEARING	LENGTH
L2	N89°37'03"E	236.98'
L3	S75°29'02"W	2616.02'
L4	S00°51'27"E	1298.79'
L5	N89°08'32"E	204.31'
L6	N89°07'48"E	850.00'
L7	N77°08'07"E	429.33'
L8	S27°13'03"E	964.83'
L11	S43°10'20"E	539.87'
L12	S88°52'41"W	603.92'
L13	S25°00'16"E	387.66'
L17	S89°24'21"W	1321.53'
L18	N00°35'19"W	74.98'
L19	N66°33'30"E	1990.78'
L20	N00°33'05"W	470.00'
L21	N45°39'16"W	1200.05'
L22	S89°26'55"W	150.00'
L23	N45°51'09"W	274.34'
L42	S89°15'11"W	1521.73'
L43	N00°35'21"E	82.40'
L44	N00°25'17"W	1212.44'
L45	S00°48'40"E	1717.41'
L46	S24°38'04"E	949.67'
L47	S30°40'08"E	1054.41'
L48	S84°40'28"E	394.24'
L49	S37°25'55"E	892.27'
L50	S37°23'24"W	1016.59'
L51	S19°11'37"W	553.19'
L52	S00°35'21"W	858.53'
L57	N89°20'44"E	1153.33'
L58	N26°25'15"W	1508.12'
L59	N00°33'05"W	1456.44'

LEGEND

- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R/W = RIGHT-OF-WAY
- O.R.B. = OFFICIAL RECORD BOOK
- L&EP # = LESS AND EXCEPT PARCEL NUMBER

- = LESS AND EXCEPT PARCELS PER AMENDMENT #10
- = LESS AND EXCEPT PARCELS PER AMENDMENT #11

GRAPHIC SCALE



NOTES:

1. THE BEARINGS SHOWN ARE BASED ON THE NORTH LINE OF SECTION 29 BEING N89°20'44"E.

REVISION 3: ADDED L&EP #22; REVISED L&EP 19 10/19/09
 REVISION 2: CORRECTED L&EP #9, AND L&EP #11 10/8/09
 REVISION 1: CHANGED L&EP #16, ADDED L&EP #20 AND L&EP #21 9/24/09
 DATE: 9/9/09

Exhibit C

SHEET 1 OF 7

The Description and this Sketch have been prepared to conform with applicable Minimum Technical Standards as set forth by The Florida Board of Professional Land Surveyors in Chapter 61G17-6, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. This Certification is a statement of professional opinion based on the surveyor's knowledge, information and belief, which is based on the existing field evidence and documentary evidence as provided to the surveyor and is not an expressed or implied warranty or guaranty. This sketch is for the sole and exclusive benefit of the parties named herein and for the specific purpose noted, and must not be relied upon by any other individual or entity whatsoever, and is not transferable under any circumstances. No liability or responsibility is assumed by the undersigned surveyor for any other use of this sketch or to any party not specifically named herein. This drawing is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper, and reproduction of this drawing without written permission of the surveyor is hereby forbidden.

2009 B.S.E. CONSULTANTS, INC. \H:\Projects\Folder\10580\Drawings\10580_101_001_1.dwg October 28, 2009 8:48:57 AM WY

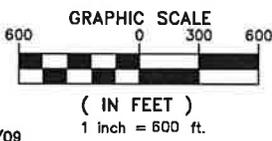
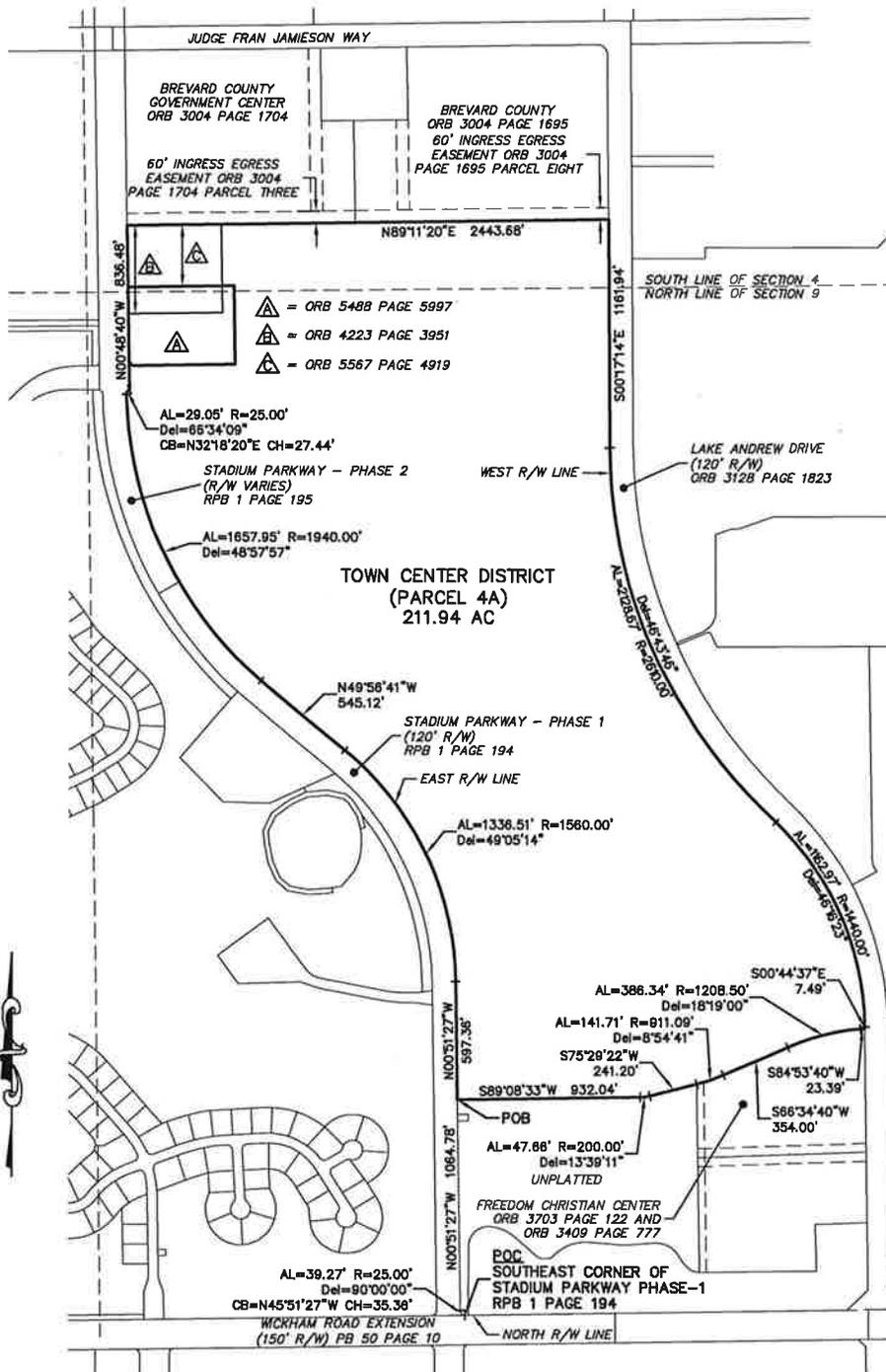
LESLIE E. HOWARD
 PROFESSIONAL SURVEYOR
 AND MAPPER
 FLORIDA LICENSE No. 5611

JOB No. 10580 DRAWING No. 10580_101_001

B.S.E. CONSULTANTS, INC.
 CONSULTING, ENGINEERING, LAND SURVEYING
 312 S. Harbor City Blvd. Suite 4
 Melbourne, Florida (321) 725-3674

SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATION No. 4151
 B.S.E. CONSULTANTS, INC. LB No. 4905

THIS IS NOT A SURVEY
SKETCH AND DESCRIPTION ONLY



TOWN CENTER DISTRICT (PARCEL 4A)

Exhibit C

DATE: 10/19/09
DATE: 8/25/09

SHEET 2 OF 7

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JOB No. 10580 DRAWING No. 10580_101_001

B.S.E. CONSULTANTS, INC.
CONSULTING, ENGINEERING, LAND SURVEYING
312 S. Harbor City Blvd. Suite 4
Melbourne, Florida (321) 725-3674

SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION No. 4151
B.S.E. CONSULTANTS, INC. LB No. 4905

THIS IS NOT A SURVEY SKETCH AND DESCRIPTION ONLY

LEGAL DESCRIPTION – CENTRAL VIERA PUD, AMENDMENT #11 (August, 2009).

A parcel of land lying within Sections 28, 29, 32 and 33, Township 25 South, Range 36 East, and Sections 4, 5, 8, 9, 10, 15, 16, 17, 20, 21, 28 and 29, Township 28 South, Range 36 East more particularly described as follows:

Begin at the Northwest corner of Section 29, Township 25 South, Range 36 East; thence N89°20'44"E along the North line of said Section 29, a distance of 5278.42 feet, to the Northeast corner of said Section 29; thence N89°37'03"E, along the North line of Section 28, a distance of 236.98 feet; to a point on the Westerly Right-of-Way line of Interstate 95, and intersection with a non-tangent curve, concave Southwesterly, having a radius of 5579.65 feet and a radial bearing of S48°35'53"W; thence Southeasterly along the arc of said curve to the right, a distance of 2618.19 feet, through a central angle of 26°53'07" to the curve's end; thence S14°30'59"E along said Westerly Right of Way, 17474.77 feet; thence S75°29'02"W, 2616.02 feet, to the point of a curve, concave Northerly, having a radius of 1145.92 feet; thence Westerly along the arc of said curve to the right, a distance of 270.45 feet, through a central angle of 13°31'20"; to a non-tangent line; thence S00°51'27"E, 1298.79 feet; thence N89°08'32"E, 204.31 feet; thence N89°07'48"E, 850.00 feet; to a point of intersection with a non-tangent curve, concave Northerly, having a radius of 1909.86 feet and a radial bearing of N01°39'03"W; thence Easterly along the arc of said curve to the left, a distance of 373.80 feet, through a central angle of 11°12'50" to the curve's end; thence N77°08'07"E, 429.33 feet, to the point of a curve, concave Southerly, having a radius of 1909.86 feet; thence Easterly along the arc of said curve to the right, a distance of 238.85 feet, through a central angle of 07°09'55"; to a non-tangent line; thence S27°13'03"E, 984.83 feet; thence S43°10'20"E, 539.87 feet; thence N88°52'41"E, 603.92 feet; thence S25°00'16"E, 387.66 feet; to a point on the Westerly Right of Way of Interstate 95, thence S14°30'59"E, along said Right of Way, 4220.44 feet; thence S87°31'12"W, 2378.76 feet; thence S00°52'01"E, along the East line of Section 21, a distance of 4989.28 feet; thence S00°22'01"E, 2841.30 feet; thence S89°09'50"W, 5316.03 feet; thence S89°24'21"W, 1321.53 feet; thence N00°42'48"W, 2844.74 feet; thence N00°25'43"W, 5298.74 feet; thence N00°35'21"E, 5204.77 feet; thence S89°08'33"W, 3988.77 feet to a point on the West line of Section 17; thence N00°35'19"W along the West line of Section 17 a distance of 74.98 feet to the Southwest corner of Section 8; thence N00°35'22"W, along the West line of Section 8, a distance of 5302.92 feet to the Southwest corner of Section 5; thence N00°33'35"W, along the West line of Section 5, a distance of 5290.28 feet to the Southwest corner of Section 32; thence N00°31'18"E, along the West line of Section 32, a distance of 5282.11 feet to the Southwest corner of Section 29; thence N00°32'02"W, along the West line of Section 29 a distance of 5385.95 feet to the Northwest corner of Section 29 and the POINT OF BEGINNING; containing 6392.22 acres, more or less.

Together with the following described parcels (Amendment # 6 addition and parcel 4a)

DESCRIPTION OF PARCEL A

A parcel of land lying within Section 5, Township 28 South, Range 36 East Brevard County, Florida, more particularly described as follows:

From the Northeast corner of said Section 5; thence S89°23'28"W along the North line of said Section 5, a distance of 2335.02 feet; thence S00°48'40"E, 311.55 feet, to the POINT OF BEGINNING; thence continue S00°48'40"E, 357.23 feet; thence N89°11'20"E, 185.30 feet; thence S00°48'40"E, along the Westerly line of lands described in O.R.B. 3802, Page 1748, Public Records of Brevard County, Florida, a distance of 1100.00 feet; thence S89°11'20"W, 80.00 feet, to the point of a curve, concave Northerly, having a radius of 2000.00 feet; thence Westerly along the arc of said curve to the right, a distance of 698.13 feet, through a central angle of 20°00'00" to the curve's end; thence N70°48'40"W, 478.77 feet; to a point of intersection with a non-tangent curve, concave Westerly, having a radius of 3000.00 feet and a radial bearing of S87°35'41"W; thence Northerly along the arc of said curve to the left, a distance of 1095.79 feet, through a central angle of 20°55'41"; to a non-tangent line; thence N66°40'00"E, 117.25 feet, to the point of a curve, concave Southerly, having a radius of 890.00 feet; thence Northeasterly along the arc of said curve to the right, a distance of 382.45 feet, through a central angle of 23°20'01" to the curve's end; thence N80°00'00"E, 875.69 feet, to the point of a curve, concave Northerly, having a radius of 1230.00 feet; thence Easterly along the arc of said curve to the left, a distance of 118.98 feet, through a central angle of 05°32'28"; to the curve's end, and the POINT OF BEGINNING; Containing 38.55 acres, more or less.

DESCRIPTION OF TOWN CENTER DISTRICT (PARCEL 4A)

A PARCEL OF LAND IN SECTIONS 4 AND 9, TOWNSHIP 28 SOUTH, RANGE 36 EAST BREVARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commence at the Southeast corner of Stadium Parkway – Phase 1 (as recorded in Road Plat Book 1, Page 194, Public Records of Brevard County Florida), also being a point on the North line of Wickham Road Extension (as recorded in Plat Book 50, Page 10, Public Records of Brevard County, Florida), and the beginning of a curve to the right; Thence along the arc of said curve (said curve being curved concave to the Northeast, having a radius of 25.00 feet a central angle of 90°00'00", a chord bearing of N45°51'27"W, and a chord length of 35.36 feet) a distance of 39.27 feet to the end of said curve; Thence N00°51'27"W along the East line of said Stadium Parkway – Phase 1, a distance of 1064.78 feet to the POINT OF BEGINNING; Thence continue N00°51'27"W, a distance of 597.36 feet to the beginning of a curve to the left; Thence along the arc of said curve (said curve being curved concave to the Southwest, having a radius of 1560.00 feet and a central angle of 49°05'14") a distance of 1336.51 feet to the end of said curve; Thence N49°56'41"W, a distance of 545.12 feet to the beginning of a curve to the right; Thence along the arc of said curve (said curve being curved concave to the Northeast, having a radius of 1940.00 feet and a central angle of 48°57'57") a distance of 1657.95 feet a point of compound curvature; Thence along the arc of said curve (said curve being curved concave to the Southeast, having a radius of 25.00 feet and a central angle of 66°34'09") a distance of 29.05 feet to the end of said curve and an intersection with a non-tangent line the North; Thence N00°48'40"W along said non-tangent line, a distance of 836.48 feet to the South line of that certain Ingress egress easement as recorded in Official Records Book 3004, Page 1704, Public Records of Brevard County, Florida; Thence N89°11'20"E along said South line and the Easterly extension thereof, a distance of 2443.88 feet to a point on the West right-of-way line of Lake Andrew Drive (as recorded in Official Records Book 3128, Page 1823, Public Records of Brevard County, Florida); Thence S00°17'14"E along said West right-of-way line, a distance of 1161.94 feet to the beginning of a curve to the left; thence along the arc of said curve (said curve being curved concave to the Northeast, having a radius of 2810.00 feet and a central angle of 46°43'48") a distance of 2128.67 feet to a point of compound curvature; Thence along the arc of said curve (said curve being curved concave to the Southwest, having a radius of 1440.00 feet and a central angle of 48°18'23") a distance of 1182.97 feet to the end of said curve; Thence S00°44'37"E a distance of 7.49 feet to the Northeast corner of Freedom Christian Center (as recorded in Official Records Book 3703, Page 122 and Official Records Book 3409, Page 777, Public Records of Brevard County, Florida); Thence S84°53'40"W along the North line of said Freedom Christian Center, a distance of 23.39 feet to the beginning of a curve to the left; Thence along the arc of said curve (said curve being curved concave to the South, having a radius of 1208.50 feet and a central angle of 18°19'00") a distance of 386.34 feet to the end of said curve; Thence S68°34'40"W, a distance of 354.00 feet to the beginning of a curve to the right; Thence along the arc of said curve (said curve being curved concave to the North, having a radius of 911.09 feet and a central angle of 8°54'41") a distance of 141.71 feet to the end of said curve; Thence S75°29'22"W, a distance of 241.20 feet to the beginning of a curve to the right; Thence along the arc of said curve (said curve being curved concave to the North, having a radius of 200.00 feet and a central angle of 13°39'11") a distance of 47.66 feet to the end of said curve; Thence S89°08'33"W, a distance of 932.04 feet to the POINT OF BEGINNING.

LESS AND EXCEPT those certain parcels of land described in Official Records Book 4223, Page 3951, and Official Records Book 5488, Page 5997, Public Records of Brevard County, Florida.

TOGETHER WITH that certain parcel of land described in Official Records Book 5587, Page 4919, Public Records of Brevard County Florida, Containing 211.94 Acres, more or less.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCELS:

L&EP #1. A parcel of land lying within Sections 5 and 8, Township 28 South, Range 36 East Brevard County, Florida, more particularly described as follows:

From the Southeast corner of Section 8; thence S89°15'11"W, along the South line of said Section 8 a distance of 1521.73 feet; thence N00°35'21"E, 82.40 feet, to a point on the future Northerly Right-of-Way line of Wickham Road (150' Right-of-Way) and the POINT OF BEGINNING; thence S89°08'33"W along said Northerly Right-of-Way, 3859.19 feet to a point on the East Line of a 30' Force Main Easement (as described in O.R.B. 2909, pages 956-964, official records of Brevard County, Florida); thence N00°25'36"W along said easement, 5226.53 feet; thence continue along said easement N00°25'17"W, 1212.44 feet to a point on the future Southerly Right-of-Way line of Judge Fran Jamieson Way (120' Right-of-Way); thence N89°11'20"E along said Southerly Right-of-Way, 2822.01 feet; thence S00°48'40"E, 1717.41 feet; thence S24°38'04"E, 949.67 feet; thence S30°40'08"E, 1054.41 feet; thence S84°40'28"E, 394.24 feet; thence S37°25'55"E, 892.27 feet; thence S37°23'24"W, 1016.59 feet; thence S19°11'37"W, 553.19 feet; thence S00°35'21"W, 858.53 feet, to the POINT OF BEGINNING; Containing 495.81 acres, more or less. (Heritage lake PUD)

L&EP #2. That parcel of land described in deed recorded in Official Records Book 2885, Page 0987 of the Public Records of Brevard County, Florida, (said parcel containing 1.59 acres, more or less).

L&EP #3. That certain Parcel of Land described within the Warranty Deed with Grant of Easement document between Central Brevard Development, Inc. and The School Board of Brevard County, Florida, as shown on Exhibit "A", recorded in OR Book 2963, Pages 1983 – 1987, Public Records of Brevard County, Florida; (a.k.a. School Board Administration Building), said Parcel containing 11.44 acres, more or less)

L&EP #4. That certain Parcel of Land described within the Warranty Deed with Reservation of Easement and Containing Restrictive Covenants and Rights of Reverter document between Central Brevard Development, Inc. and The School Board of Brevard County, Florida, as shown on Exhibit "A", recorded in OR Book 2963, Pages 1988 – 1995, Public Records of Brevard County, Florida; (a.k.a. School Board Reserve Parcel), said Parcel containing 19.03 acres, more or less)

L&EP #5. That certain Parcel of Land described within the General Warranty Deed document between The Viera Company and The United States of America, as shown on Exhibit "A", recorded in OR Book 3417, Pages 3710-3715, Public Records of Brevard County, Florida; (a.k.a. VA Facility), said Parcel containing 77.00 acres, more or less)

L&EP #6. That certain Parcel of Land described within the Warranty Deed with Reservation of Easement and Containing Restrictive Covenants, Rights of Reverter and Grant of Easement document between Central Brevard Development, Inc. and Brevard County, Florida, shown as Exhibit "A", recorded in OR Book 3004, Pages 1895 – 1703, Public Records of Brevard County, Florida; (a.k.a. Brevard County Operations Facility Parcel), said Parcel containing 30.00 acres, more or less)

REVISION 3: ADDED L&EP #22; REVISED L&EP 19 10/19/09
 REVISION 2: CORRECTED L&EP #9, AND L&EP #11 10/8/09
 REVISION 1: CHANGED L&EP #16, ADDED L&EP #20 AND L&EP #21 9/24/09
 DATE: 9/9/09

Exhibit C
SHEET 3 OF 7

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LESLIE E. HOWARD PROFESSIONAL SURVEYOR AND MAPPER FLORIDA LICENSE No. 5611	JOB No. 10580 DRAWING No. 10580_101_001 B.S.E. CONSULTANTS, INC. CONSULTING, ENGINEERING, LAND SURVEYING 312 S. Harbor City Blvd., Suite 4 Melbourne, Florida (321) 725-3674	SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR FLORIDA CERTIFICATION No. 4151 B.S.E. CONSULTANTS, INC. LB No. 4905
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THIS IS NOT A SURVEY SKETCH AND DESCRIPTION ONLY

LEGAL DESCRIPTION -- CENTRAL VIERA PUD, AMENDMENT #11 (August, 2009) CONTINUED

L&EP #7. That certain Parcel of Land described within the Warranty Deed with Grant of Easement and Reservation of Easement, Restrictive Covenants and Terminable Rights of Reverter document between Central Brevard Development, Inc. and Florida National Bank, shown as Exhibit "A", recorded in OR Book 3004, Pages 1704 - 1713, Public Records of Brevard County, Florida; (a.k.a. Brevard County Reserve Parcel), said Parcel containing 23.5 acres, more or less)

L&EP #8. That certain Parcel of Land described within the Special Warranty Deed document between The Viera Company and the Central Florida Presbytery (Presbyterian Church(U.S.A.)), Inc., as shown on Exhibit "A", recorded in OR Book 4223, Pages 3951-3955, Public Records of Brevard County, Florida; (a.k.a. Presbyterian Church), said Parcel containing 5.00 acres, more or less)

L&EP #9. That certain Parcel of Land described within the Special Warranty Deed document between Florida Marlins Baseball, Ltd. and Marlins-Viera, shown as Parcels 1,2 and 5, recorded in OR Book 3350, Pages 402B - 4032, Public Records of Brevard County, Florida; (a.k.a. Marlina Complex) said Parcels containing 52.42 acres, more or less)

L&EP #10. That certain Parcel of Land described within the Special Warranty Deed document between The Viera Company and the Florida Marlins Baseball, Ltd., as shown on Exhibit "A", Parcel 4 recorded in OR Book 3218, Pages 1801, Public Records of Brevard County, Florida; (a.k.a. Marlina Complex), said Parcel containing 8.18 acres, more or less)

L&EP #11. That certain Parcel of Land described within the Special Warranty Deed document between The Viera Company and the Brevard County, Florida, as shown on Exhibit "A", Parcels 3 and 6, recorded in OR Book 3245, Pages 2405-2426, Public Records of Brevard County, Florida; (a.k.a. Space Coast Stadium), said Parcel containing 33.34 acres, more or less)

L&EP #12. That certain Parcel of Land described within the Special Warranty Deed document between The Viera Company and Brevard County, as shown on Exhibit "A", recorded in OR Book 3325, Pages 2016 - 2026, Public Records of Brevard County, Florida; (a.k.a. Moore Judicial Center), said Parcel containing 34.67 acres, more or less)

L&EP #13. Platted lands in Parcel 1 of the PUD, consisting of the following:

- i) Sonoma at Viera, Phases 1 and 2, PB 49, Pgs 5-12
- ii) Sonoma at Viera, Phase 3, PB 50, Pgs 48-49
- iii) Sonoma at Viera, Phase 4, PB 50, Pgs 18-19
- iv) Sonoma at Viera, Phase 5, PB 50, Pgs 20-21
- v) Sonoma at Viera, Phase 6, PB 50, Pgs 50-51
- vi) Sonoma South, Phase 1, PB 49, Pgs 50-51
- vii) Sonoma South, Phase 2, PB 50, Pgs 23-24
- viii) Sonoma South, Phase 3, PB 51, Pgs 5-6
- ix) Sonoma South, Phase 4, PB 51, Pgs 7-8
- x) Summer Lakes, Phase 1, PB 48, Pgs 98-100
- xi) Summer Lakes, Phase 2, PB 50, Pgs 55-58
- xii) Summer Lakes, Phase 3, PB 52, Pgs 86-88

L&EP #14. Platted and deeded lands in Parcel 2 of the PUD, consisting of the following:

- i) Viera Regional Park, PB 52, Pg 91
- ii) A 7.0 acre parcel owned by Brevard County as described in ORB 5778, Page 5333

L&EP #15. Platted lands in Parcel 3 of the PUD, consisting of the following:

- i) Avenue Viera, PB 51, Pgs 9-11
- ii) Market Center Viera, PB 52, Pgs 75-77
- iii) Highlands Viera, PB 51, Pgs 73-74
- iv) Highlands of Viera East, PB 56, Pgs 5-6
- v) Lexus of Melbourne, PB 58, Pgs 17-18

L&EP #16. Platted lands in Parcel 4 of the PUD, consisting of the following:

- i) Sunstone Subdivision, Phase 1, PB 53, Pgs 57-60
- ii) Sunstone Subdivision, Phase 2, PB 55, Pgs 28-32
- iii) Solemo Boulevard and Tavistock Drive, Phase 1, PB 50, Pgs 15-17
- iv) Stoneridge Subdivision, PB 55, Pgs 74-77
- v) Terramora Subdivision, PB 54, Pgs 1-4
- vi) Gatwick Manor Subdivision, PB 54, Pgs 95-98
- vii) Chelford Subdivision, PB 56, Pgs 20-23
- viii) Eason Landing Subdivision, PB 54, Pgs 79-82
- ix) Daintree Subdivision, PB 56, Pgs 62-68
- x) Lots 3 and 4, Block A, Lots 11, 13, and 23 Block B, and Tracts H, I, and J of the Plat of Cortona Subdivision, PB 56, Pgs 83-86
- xi) Levanto Subdivision, PB 56, Pgs 59-61
- xii) Christian Church at Viera, PB 58, Pg 18
- xiii) Capron Trace, Phase 1, PB 51, Pgs 39-40
- xiv) Capron Trace, Phase 2, PB 52, Pgs 21-22
- xv) Capron Trace, Phase 3, PB 52, Pg 23
- xvi) North Solemo Park, PB 54, Pgs 82-93
- xvii) Ravenscliffe, Phase 1, PB 52, Pgs 1-3
- xviii) Ravenscliffe, Phase 2, PB 52, Pgs 66-68
- xix) Colfax Landing, Phase 1, PB 53, Pgs 7-10
- xx) Colfax Landing, Phase 2, PB 53, Pgs 53-56
- xxi) Breslay Commons, PB 56, Pgs 19-21
- xxii) Indigo Crossing, Phase 1, PB 51, Pgs 77-80
- xxiii) Indigo Crossing, Phase 2, PB 53, Pgs 24-25
- xxiv) Indigo Crossing, Phase 3, PB 53, Pgs 74-77
- xxv) Indigo Crossing, Phase 4, PB 53, Pgs 93-97
- xxvi) Charolais Estates, Phase 1, PB 53, Pgs 14-19
- xxvii) Charolais Estates, Phase 2, PB 54, Pgs 24-27
- xxviii) Duran Golf Club, PB 51, Pgs 63-65
- xxix) Stadium East, PB 54, Pgs 15-16
- xxx) South Solemo Commercial Center, PB 57, Pgs 97-98

L&EP #17. Platted lands in Parcel 5 of the PUD, consisting of the following:

- i) Trafford West, PB 51, Pg 54
- ii) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 1, PB 42, Pgs 74-75
- iii) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 2A, PB 43, Pgs 84-85
- iv) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 2B, PB 44, Pgs 23-24
- v) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 3, PB 44, Pgs 52-54
- vi) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 4, PB 44, Pgs 91-92
- vii) Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 5, PB 45, Pg 22
- viii) Viera Health Complex, PB 58, Pgs 6-8
- ix) Watersong South at Viera, PB 56, Pgs 3-5
- x) Watersong at Viera, PB 57, Pgs 60-62
- xi) Water's Edge, PB 55, Pgs 78-79
- xii) CAV Landing, PB 56, Pgs 56-57

L&EP #18. That certain Parcel of Land described within the Warranty Deed document between A. Duda & Sons, Inc. and Board of County Commissioners of Brevard County, Florida, recorded in OR Book 5759, Page 4762, Public Records of Brevard County, Florida; said Parcel containing 3.65 acres, more or less.

REVISION 3: ADDED L&EP #22; REVISED L&EP 19 10/19/09
REVISION 2: CORRECTED L&EP #9, AND L&EP #11 10/8/09
REVISION 1: CHANGED L&EP #16, ADDED L&EP #20 AND L&EP #21 9/24/09
DATE: 9/9/09

Exhibit C

SHEET 4 OF 7

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LESLIE E. HOWARD
PROFESSIONAL SURVEYOR
AND MAPPER
FLORIDA LICENSE No. 5811

JOB No. 10580 DRAWING No. 10580_101_001



SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION No. 4151
B.S.E. CONSULTANTS, INC. LB No. 4905

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THIS IS NOT A SURVEY SKETCH AND DESCRIPTION ONLY

LEGAL DESCRIPTION — CENTRAL VIERA PUD, AMENDMENT #11 (August, 2009) CONTINUED.

L&EP #19. Those parts of Sections 15, 16, 17, 20, 21, 22, 28 and 29, Township 26 South, Range 36 East Brevard County, Florida lying South of the following described line: Begin at the Southeast corner of the Plat of Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 3 (Plat Book 44 Pages 52-54, Public Records of Brevard County, Florida) and run S81°38'33"W along the South line of said Plat, 86.02 feet to a non-tangent intersection with a curve to the left; Thence along the arc of said curve, (said curve being concave to the West and having a radius of 750.00 feet; a delta angle of 33°08'08", a chord distance of 427.72 feet; and a chord bearing of N44°55'31"W) a distance of 433.74 feet to the end of said curve and a point on the East line of a parcel of land described in Official Records Book 4568, Pages 518-522, Public Records of Brevard County, Florida; thence S14°30'59"E along the East line of said parcel, 253.23 feet; thence S75°13'39"W, 717.10 feet; thence N14°17'52"W, 287.62 feet to the beginning of a curve to the right; Thence along the arc of said curve, (said curve being curved concave to the East and having a radius of 50.00 feet; a delta angle of 39°18'18", a chord distance of 33.63 feet; and a chord bearing of N05°21'17"E) a distance of 34.30 feet to the point of reverse curvature; Thence along the arc of said curve, (said curve being curved concave to the West and having a radius of 195.00 feet; a delta angle of 39°31'10", a chord distance of 131.85 feet; and a chord bearing of N05°14'51"E) a distance of 134.50 feet to the Southeast corner of the Plat of Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 5 (Plat Book 45, Page 22, Public Records of Brevard County, Florida) and a non-tangent intersection with a curve to the left; Thence along the South line of said Plat and the arc of said curve, (said curve being concave to the Southeast and having a radius of 750.00 feet; a delta angle of 47°24'20", a chord distance of 602.99 feet; and a chord bearing of S40°22'47"W) a distance of 620.54 feet to the end of said curve; thence S76°30'35"W, 328.63 feet to the Southwest corner of said plat and a point on the East line of the Plat of Trafford West (Plat Book 51, Page 54, Public Records of Brevard County, Florida) and a non-tangent intersection with a curve to the right; Thence along the East line of said plat and the arc of said curve, (said curve being concave to the West and having a radius of 3025.00 feet; a delta angle of 01°51'28", a chord distance of 98.06 feet; and a chord bearing of S12°33'47"E) a distance of 98.06 feet to a non-tangent intersection with the Southerly boundary of said plat; thence along said Southerly boundary the following 5 courses and distances:

1. S89°08'33"W, 217.69 feet;
2. S35°10'57"W, 138.27 feet;
3. S00°51'27"E, 242.81 feet;
4. S89°08'33"W, 725.22 feet;

5. N00°51'27"W, 898.20 feet to the Northwest corner of Tract A of said Trafford West, and a point on the South Right-of-Way line of Trafford Drive;

thence S89°08'33"W along said Right-of-Way line of Trafford Drive, 50.00 feet to the Southwest corner of Trafford Drive; thence N89°08'33"E along the North Right-of-Way line of Trafford Drive, 70.79 feet to the Southwest corner of that certain parcel of land described in Official Records Book 4839, Page 1184; thence N00°51'27"W, along the West line of said parcel, 401.50 feet to the Northwest corner of said parcel; thence N89°08'33"E, along the North line of said parcel, 590.78 feet to the Northeast corner of said parcel and a point on the West Right-of-Way line of Lake Andrew Drive (150' Right-of-Way, Tract G-1, Plat of Viera Central PUD, Tract 12, Unit 1, Parcels 1-3, Phase 4, Plat Book 44, Pages 91-92); thence N31°59'28"W along said West Right-of-Way, 1081.84 feet to the beginning of a curve to the right; Thence along the arc of said curve, (said curve being concave to the Northeast and having a radius of 2075.00 feet; a delta angle of 9°38'42", a chord distance of 348.89 feet; and a chord bearing of N27°10'05"W) a distance of 348.30 feet to a point on the South line of the parcel described in Official Records Book 5885, Page 8839, public records of Brevard County, Florida and a point of reverse curvature; thence along said South line the following 20 courses and distances:

1. thence along the arc of said curve (said curve being curved concave to the South, and having a radius of 25.00 feet, a delta angle of 89°27'45", a chord distance of 35.19 feet, and a chord bearing of N67°04'36"W), a distance of 39.04 feet to the beginning of a compound curve to the left;
 2. thence along the arc of said curve (said curve being curved concave to the South, having a radius of 160.00 feet, a delta angle of 42°37'05", a chord distance of 118.29 feet, and a chord bearing of S46°52'59"W), a distance of 119.06 feet to the end of said curve;
 3. thence S25°34'27"W, a distance of 202.27 feet;
 4. thence N64°25'33"W a distance of 70.00 feet to a non-tangent intersection with a curve to the right;
 5. thence along the arc of said curve (said curve being curved concave to the North, having a radius of 820.00 feet, a delta angle of 17°12'40", a chord distance of 245.40 feet, and a chord bearing of S34°10'47"W) a distance of 246.32 feet to the beginning of a compound curve to the right;
 6. thence along the arc of said curve (said curve being curved concave to the North, having a radius of 25.00 feet, a delta angle of 101°34'25", a chord distance of 38.74 feet, and a chord bearing of N88°25'40"W) a distance of 44.32 feet to the beginning of a compound curve to the right;
 7. thence along the arc of said curve (said curve being curved concave to the East, having a radius of 475.00 feet, a delta angle of 8°02'07", a chord distance of 50.01 feet, and a chord bearing of N32°37'24"W) a distance of 50.04 feet to the end of said curve;
 8. thence N29°38'20"W, a distance of 98.46 feet to the beginning of a curve to the right;
 9. thence along the arc of said curve (said curve being curved concave to the Southeast, having a radius of 25.00 feet, a delta angle of 99°02'06", a chord distance of 38.03 feet, and a chord bearing of N19°54'43"E) a distance of 43.21 feet to the intersection with a non-tangent line to the West;
 10. thence S89°25'48"W along said non-tangent line, a distance of 240.28 feet to the beginning of a curve to the right;
 11. thence along the arc of said curve (said curve being curved concave to the North, having a radius of 775.00 feet, a delta angle of 19°42'47", a chord distance of 265.33 feet, and a chord bearing of S79°17'09"W) a distance of 288.84 feet to the end of said curve;
 12. thence S89°08'33"W, a distance of 925.06 feet to the beginning of a curve to the right;
 13. thence along the arc of said curve (said curve being curved concave to the North, having a radius of 225.00 feet, a delta angle of 6°05'46", a chord distance of 23.93 feet, and a chord bearing of N87°48'34"W) a distance of 23.94 feet to a non-tangent intersection with a curve to the right;
 14. thence along the arc of said curve (said curve being curved concave to the South, having a radius of 25.00 feet, a delta angle of 58°04'48", a chord distance of 24.27 feet, and a chord bearing of S55°43'17"E) a distance of 25.34 feet to the end of said curve;
 15. thence S26°40'53"E, a distance of 279.31 feet to the beginning of a curve to the right;
 16. thence along the arc of said curve (said curve being curved concave to the Northwest, having a radius of 25.00 feet, a delta angle of 115°49'26", a chord distance of 42.36 feet, and a chord bearing of S31°13'50"W) a distance of 50.54 feet to the end of said curve;
 17. thence S89°08'33"W, a distance of 22.75 feet to the beginning of a curve to the left;
 18. thence along the arc of said curve (said curve being curved concave to the South, having a radius of 225.00 feet, a delta angle of 25°49'26", a chord distance of 100.55 feet, and a chord bearing of S78°13'50"W) a distance of 101.41 feet to the end of said curve;
 19. thence S83°19'07"W, a distance of 220.58 feet to the beginning of a curve to the right;
 20. thence along the arc of said curve (said curve being curved concave to the Northeast, having a radius of 25.00 feet, a delta angle of 115°49'26", a chord distance of 42.36 feet, and a chord bearing of N58°46'10"W) a distance of 50.54 feet to the East line of Stadium Parkway, Phase 3, recorded in Road Plat Book 2, Page 5, public records of Brevard County, Florida and an intersection with a non-tangent line to the South;
- thence S00°51'27"E, along said non-tangent line, a distance of 151.95 feet to the Southeast corner of said Stadium Parkway Phase 3; thence S89°08'33"W along the South line of said Stadium Parkway Phase 3, a distance of 150.00 feet to the Southwest corner of said Stadium Parkway Phase 3; thence N00°51'27"W along the West line of said Stadium Parkway Phase 3, a distance of 318.85 feet; thence S89°08'33"W, a distance of 40.00 feet to the West line of Tract A of said Stadium Parkway Phase 3; thence N00°51'27"W along the West line of said Tract A, a distance of 40.00 feet to a point on the South line of CAV Landing, as recorded in Plat Book 56, Page 56, public records of Brevard County, Florida; thence S89°08'33"W along the South line of said CAV Landing and its Westerly extension thereof, a distance of 1443.68 feet to the Southeast Corner of Watersong South as recorded in Plat Book 58, Page 3, public records of Brevard County, Florida; Thence S89°08'33"W along the South line of said Watersong South a distance of 1568.34 feet to the end of this line.

Containing 1888.53 ACRES MORE OR LESS

L&EP #20. That portion of the Six Mile Canal lying between Stadium Parkway and Lake Andrew Drive, as recorded in OR Book 5789, Page 957, Public Records of Brevard County, Florida; said Parcel containing 5.33 acres, more or less.

L&EP #21. Property as described in the Special Warranty Deed as recorded in OR Book 4568, Page 0518, Public Records of Brevard County, Florida, said Parcel containing 21.28 acres more or less.

L&EP #22. A parcel of land lying within Sections 8 and 17, Township 26 South, Range 36 East, Brevard County, Florida, more particularly described as follows: Begin at the Southwest corner of Wickham Road Extension, recorded in Plat Book 50, Page 10, public records of Brevard County, Florida, and run S89°08'33"W, a distance of 1772.80 feet to a point on the West line of said Section 17; thence N00°35'19"W along the West line of said Section 17, a distance of 74.98 feet to the Southwest corner of said Section 8 (also being the Northwest corner of said Section 17); thence N00°35'22"W along the West line of said Section 8, a distance of 75.02 feet; thence N89°08'33"E, a distance of 150.09 feet to the Southwest corner of Heritage Isle - Phase 1, recorded in Plat Book 50, Page 61, public records of Brevard County, Florida; thence N89°08'33"E along the South line of said Heritage Isle - Phase 1, a distance of 1622.01 feet to the Northwest corner of said Wickham Road Extension; Thence S00°51'27"E along the West line of said Wickham Road Extension, a distance of 150.00 feet to the POINT OF BEGINNING, Containing 6.10 acres, more or less.

All plats and deeds as recorded in the Public Records of Brevard County, Florida

Overall acreage of Amendment # 11 area is 1271.36 acres, more or less.

REVISION 3: ADDED L&EP #22; REVISED L&EP 19 10/19/09
 REVISION 2: CORRECTED L&EP #9, AND L&EP #11 10/8/09
 REVISION 1: CHANGED L&EP #16, ADDED L&EP #20 AND L&EP #21 9/24/09
 DATE: 9/9/09

Exhibit C

SHEET 5 OF 7

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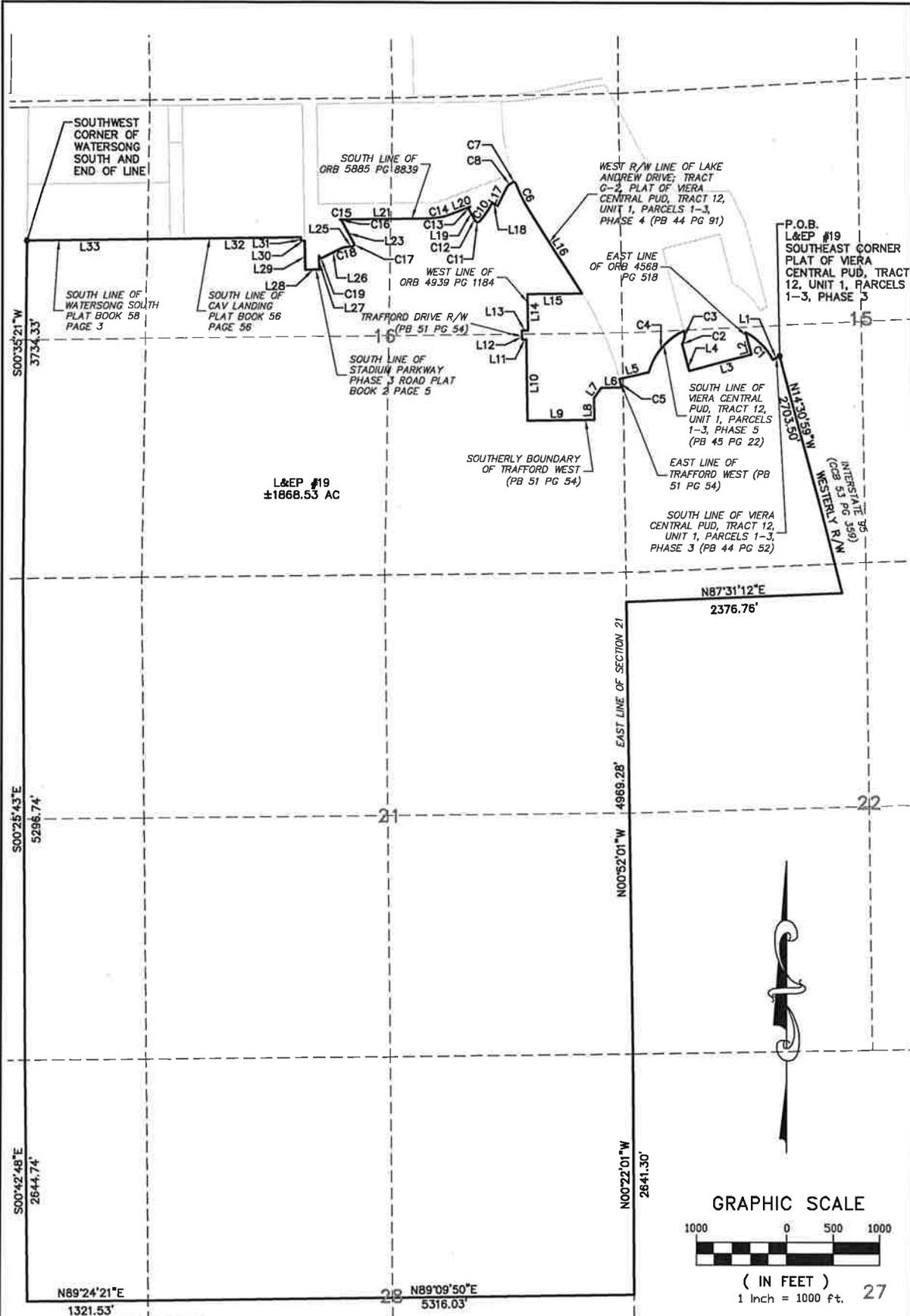
LESLIE E. HOWARD
 PROFESSIONAL SURVEYOR
 AND MAPPER
 FLORIDA LICENSE No. 5611

JOB No. 10580 DRAWING No. 10580_101_001

B.S.E. CONSULTANTS, INC.
 CONSULTING, ENGINEERING, LAND SURVEYING
 312 S. Harbor City Blvd., Suite 4
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SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATION No. 4151
 B.S.E. CONSULTANTS, INC. LB No. 4905

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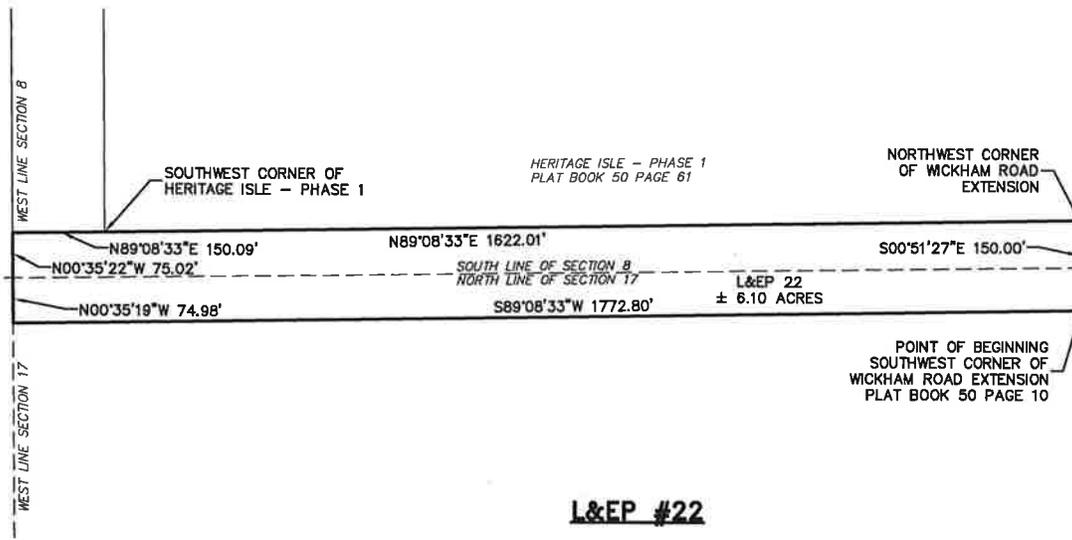
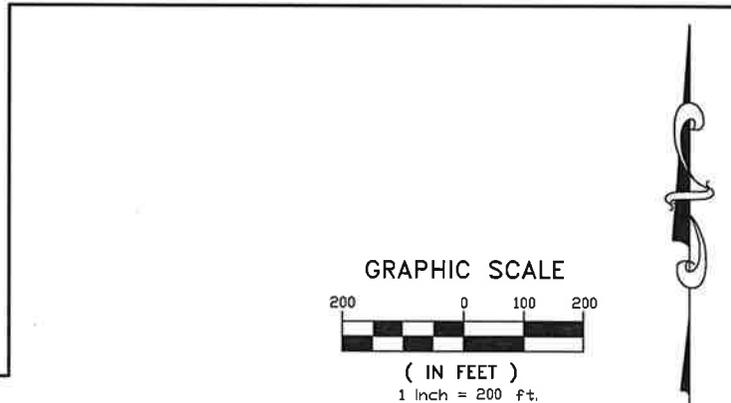


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Line Table		
Line #	Direction	Length
L1	S81°38'33"W	86.02
L2	S14°30'59"E	253.23
L3	S75°13'39"W	717.10
L4	N14°17'52"W	287.62
L5	S76°30'35"W	326.63
L6	S89°08'33"W	217.89
L7	S35°10'57"W	136.27
L8	S00°51'27"E	242.81
L9	S89°08'33"W	725.22
L10	N00°51'27"W	898.20
L11	S89°08'33"W	50.00
L12	N00°51'27"W	100.00
L13	N89°08'33"E	70.79
L14	N00°51'24"W	401.50
L15	N89°08'33"E	590.76
L16	N31°59'26"W	1061.84
L17	S25°34'27"W	202.27
L18	N64°25'33"W	70.00
L19	N29°36'20"W	98.46
L20	S69°25'46"W	240.26
L21	S89°08'33"W	925.06
L23	S26°40'53"E	279.31
L25	S89°08'33"W	22.75
L26	S63°19'07"W	220.58
L27	S00°51'27"E	151.95
L28	S89°08'33"W	150.00
L29	N00°51'27"W	318.85
L30	S89°08'33"W	40.00
L31	N00°51'27"W	40.00
L32	S89°08'33"W	1443.68
L33	S89°08'33"W	1568.34

Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	433.74	750.00	33°08'08"	427.72	N44°55'31"W
C2	34.30	50.00	39°18'18"	33.63	N05°21'17"E
C3	134.50	195.00	39°31'10"	131.85	N05°14'51"E
C4	620.54	750.00	47°24'20"	602.99	S40°22'47"W
C5	98.06	3025.00	1°51'26"	98.06	S12°33'47"E
C6	349.30	2075.00	9°38'42"	348.89	N27°10'05"W
C7	39.04	25.00	89°27'45"	35.19	N67°04'36"W
C8	119.01	160.00	42°37'05"	116.29	S46°52'59"W
C10	246.32	820.00	17°12'40"	245.40	S34°10'47"W
C11	44.32	25.00	101°34'25"	38.74	N86°25'40"W
C12	50.04	475.00	6°02'07"	50.01	N32°37'24"W
C13	43.21	25.00	99°02'06"	38.03	N19°54'43"E
C14	266.64	775.00	19°42'47"	265.33	N79°17'09"E
C15	23.94	225.00	6°05'46"	23.93	N87°48'34"W
C16	25.34	25.00	58°04'48"	24.27	S55°43'17"E
C17	50.54	25.00	115°49'26"	42.36	S31°13'50"W
C18	101.41	225.00	25°49'26"	100.55	S76°13'50"W
C19	50.54	25.00	115°49'26"	42.36	N58°46'10"W

L&EP #19 LINE/CURVE TABLE



L&EP #22

REVISION 3: ADDED L&EP #22; REVISED L&EP 19 10/19/09
 REVISION 2: CORRECTED L&EP #9, AND L&EP #11 10/8/09
 REVISION 1: CHANGED L&EP #16, ADDED L&EP #20 AND L&EP #21 9/24/09
 DATE: 8/25/09

Exhibit C

SHEET 7 OF 7

JOB No. 10580 DRAWING No. 10580_101_001

LESLIE E. HOWARD
 PROFESSIONAL SURVEYOR
 AND MAPPER
 FLORIDA LICENSE No. 5811

B.S.E. CONSULTANTS, INC.
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SCOTT M. GLAUBITZ, PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATION No. 4151
 B.S.E. CONSULTANTS, INC. LB No. 4905

Warranty Deeds

DEED BOOK 378 PAGE 208

Handwritten notes:
B...
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WARRANTY DEED

THIS INDENTURE, Made this 29 day of September, A. D. 1955, between JOHN DUDA and KATHERINE DUDA, his wife, ANDREW DUDA, JR., and ELIZABETH DUDA, his wife, and FERDINAND DUDA and ANNA DUDA, his wife, of the County of Seminole and State of Florida, parties of the first part, and A. DUDA & SONS, INC., a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Seminole, State of Florida, party of the second part, whose mailing address is Ocala, Fla.

WITNESSETH, that the said parties of the first part, for and in consideration of the sum of TEN DOLLARS and other valuable considerations, to them in hand paid, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, remised, released, enfeoffed, conveyed and confirmed and by these presents do grant, bargain, sell, alien, remise, release, enfeoff, convey and confirm unto the said party of the second part and its successors and assigns forever, all those certain parcels of land lying and being in the County of Brevard, and State of Florida, more particularly described as follows:

Handwritten:
55-
36E

NE $\frac{1}{4}$ of SW $\frac{1}{4}$, Section 31; NW $\frac{1}{4}$ of SE $\frac{1}{4}$, Section 31, Township 36 South, Range 25 East, Brevard County, Florida.

All of Sections 1, 2, 3, 4, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 17, 18, 19, 20, 22, 23, 24, 25, 27, 29, 25, 30, 31, 32, and the NE $\frac{1}{4}$ and the E $\frac{1}{2}$ of the NE $\frac{1}{4}$ of Section 5; and W $\frac{1}{2}$ and the W $\frac{1}{2}$ of the SE $\frac{1}{4}$ of Section 33; and the N $\frac{1}{2}$ of Section 34; and the N $\frac{1}{2}$ of Section 35; and the N $\frac{1}{2}$ of Section 36; all in Township 26 South, Range 35 East.

All Sections 19, 28, 29, 30, 31, 32, 33, and 36, and all of Section 20 except the NE $\frac{1}{4}$; and the SE $\frac{1}{4}$ of Section 26; and Section 34 except the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ and the S $\frac{1}{2}$ of the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$; the E $\frac{1}{2}$ and the E $\frac{1}{2}$ of the W $\frac{1}{2}$ and the SW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 35, all in Township 26 South, Range 36 East.



DEED

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The E $\frac{1}{2}$ of the NW $\frac{1}{4}$ and the SW $\frac{1}{4}$ of the NW $\frac{1}{4}$ and the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$, Section 30, Township 26 South, Range 37 East, and all the lands purchased of E. O. Tanner, debtor bankrupt, in Brevard County, Florida, together with riparian rights and submerged lands thereunto appertaining.

All of Section Twenty Eight (28), the Northeast quarter and the East half of Southeast quarter (NE $\frac{1}{4}$ and E $\frac{1}{2}$ of SE $\frac{1}{4}$) of Section Thirty Three (33), the South half (S $\frac{1}{2}$) of Section Thirty Four (34), the South half (S $\frac{1}{2}$) of Section Thirty Five (35) and the South half (S $\frac{1}{2}$) of Section Thirty Six (36), all being in Township Twenty Six (26) South, Range Thirty Five (35) East, containing 1793.41 acres, more or less.

Section Sixteen (16), Township Twenty-Six (26) South, Range Thirty-Five (35) East.

All of Section 16, IN TOWNSHIP 26 SOUTH, RANGE 35 EAST.

All of Section 21, Township 26 South, Range 35 East, containing 640 acres more or less.

Description Number 1

Section 33 East of the thread of the St. Johns River, containing 439 acres, more or less;
Section 34 containing 640 acres, more or less;
Section 35 containing 540 acres, more or less;
Making a total of 1,519 acres of land,
more or less;

All in Township 26, South, of Range 35 East.

Description Number 2

Section 27 East of the thread of the St. Johns River, containing 635 acres, more or less;
Section 28 East of the thread of the St. Johns River, containing 290 acres, more or less;
Making a total of 925 acres of land,
more or less;

All in Township 26, South, of Range 35 East.
The acreage hereby being conveyed totalling 2,444 acres, more or less.

DEED BOOK 378 PAGE 210

SW 1/4 of NW 1/4, Section 14; SW 1/4 of SE 1/4 and SE 1/4 of SW 1/4, Section 22; NE 1/4 of NE 1/4, Section 27; SW 1/4 of NW 1/4, except as described in Deed Book 64, page 71 GG, page 48, and 63, page 155, Section 35; Part of SW 1/4 of NW 1/4 as described in Deed Book 60, page 48, Section 35, all in Township 26 South, Range 36 East.

SE 1/4 of NE 1/4 of Section 15, Township 26 South, Range 36 East.

PARCEL #1.

The Southwest quarter (SW 1/4) of Section 1; All of Sections 12, 13 and 24; The East quarter (E 1/4) of Section 14 The East quarter (E 1/4) of Section 23; all in Township 25 South, Range 35 east.

PARCEL #2.

The northeast quarter of the Southwest quarter (NE 1/4 of the SW 1/4) of Section 4; The East half of the Southeast quarter (E 1/2 of the SE 1/4) and the NW 1/4 of the SE 1/4 of Section 6; All of Section 7 except the Northwest quarter of the Northwest quarter (NW 1/4 of the NW 1/4); The South half of the Northwest quarter (S 1/2 of NW 1/4); the Southwest quarter of the Northeast quarter (SW 1/4 of NE 1/4) the Southwest quarter (SW 1/4); the West half of the Southeast quarter (W 1/2 of SE 1/4) and the Southeast quarter of the Southeast quarter (SE 1/4 of SE 1/4) all in Section 8; The Southeast quarter (SE 1/4); the East half of the Southwest quarter (E 1/2 of SW 1/4); and the Southwest quarter of the Southwest quarter (SW 1/4 of SW 1/4) all in Section 9.

All of Sections 18 and 19; all in Township 25 South, range 36 East.

The aggregate total acreage of both parcels comprises 5120 acres, more or less.

SUBJECT to that certain Mortgage dated September 1950, between John Duda and wife, Katherine Duda, Andrew Duda, Jr., and wife, Elizabeth Duda, Ferdinand Duda and wife, Anna Duda, and J. Arthur Puccoast, which grantee assumes and agrees to pay.

Parcel No. 1: The East half (E 1/2) of Section 2 and East half (E 1/2) of Section 11, all in Township 25 South, Range 35 East, containing 640 acres more or less;

DEED

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Parcel No. 2: The West three-quarters (W 3/4) of Section 14, the West three-quarters (W 3/4) of Section 23; that part of Section 15 lying East of the thread or middle of the St. Johns River, and that part of Section 22 lying East of the thread or middle of the St. Johns River, containing 1300 acres more or less;

All in Township 25 South, Range 35 East;

The NW $\frac{1}{2}$ of NW $\frac{1}{2}$ Sec. 7, Tp 25 S; R. 35 E, containing Forty Acres more or less.

South half of the Northeast Quarter, and the Northeast Quarter of the Southeast Quarter of Section 31, Township 25 South, Range 35 East, containing 120 $\frac{1}{2}$ 18 acres, more or less, according to the Official Government Survey thereof.

All of sections twenty-five (25), twenty-six (26), and thirty-six (36), in township twenty-five (25) south, range thirty-five (35) east;

Southwest quarter of northwest quarter, and west half of southwest quarter of section twenty-six (26), all of sections twenty-seven (27), twenty-eight (28), twenty-nine (29), and thirty (30), north half of Northeast quarter, northwest quarter, west half of southwest quarter, southeast quarter of southwest quarter, and south half of southeast quarter of section thirty-one (31), sections thirty-two (32), thirty-three (33), and thirty-four (34), west half, and southwest quarter of southeast quarter of section thirty-five (35), all in township twenty-five (25) south, range thirty-six (36) east;

The west half of the southwest quarter of section two (2), sections three (3), four (4), five (5), six (6), seven (7), eight (8), nine (9), and ten (10), the northwest quarter of the Northwest quarter of section eleven (11), northwest quarter of northwest quarter, and west half of southwest quarter of section fourteen (14); north half of northeast quarter, southwest quarter of northeast quarter, west half and southeast quarter of section fifteen (15), sections seventeen (17) and eighteen (18), Northeast quarter of section twenty (20), section twenty-one (21), north half, north half of southwest quarter, southwest quarter of southwest quarter, north half of southeast quarter, and southeast quarter of southeast quarter of section twenty-two (22), west half of northwest quarter, and west half of southwest quarter of section twenty-three (23), southeast quarter of southwest quarter of section

DEED
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twenty-six (26), west half of northeast quarter, southeast quarter of northeast quarter, west half, and south half of southeast quarter of section twenty-seven (27), all in township twenty-six (26) south, range thirty-six (36) east, and aggregating sixteen thousand six hundred and forty (16,640) acres more or less.

All of Sections 19, 20, 21 and 28, lying North and East of the St. Johns River;

All of Section 27, less the SW $\frac{1}{4}$;

That part of the NE $\frac{1}{4}$ of Section 34 described as; Beginning at the NW corner of the NE $\frac{1}{4}$ of Section 34; run thence East to the NE corner of such Section; thence South to the SE corner of the NE $\frac{1}{4}$ of said Section; thence run diagonally across said quarter section from the said SE corner of the NE $\frac{1}{4}$ to the NW corner of the NE $\frac{1}{4}$; being the point of beginning;

The North half of Section 35 and the North $\frac{3}{4}$ of Section 36;

All of such land being in Township 26 South, Range 35 East;

The Northeast One-fourth of the Southeast One-fourth, of Section Twenty-seven, of Township Twenty-six, South, Range Thirty-six, East, in said County.

Together with any and all real property not hereinabove described which is owned by grantor herein in Brevard County, Florida and excepting herefrom any real property included in the above descriptions which may have been heretofore conveyed by grantors herein.

J. D. P.
J. D. *a. d.*
E. D.

2. All of Sections 19, 20, 21 and 28, lying South and West of the St. Johns River; SW $\frac{1}{4}$ of Section 27;

DEED

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all of Sections 29, 30, 31, 32, 33; S $\frac{1}{2}$ of Section 35; S $\frac{1}{2}$ of Section 36; all of Section 34 (except that part of the NE $\frac{1}{4}$ thereof described as follows: Beginning at the NW corner of NE $\frac{1}{4}$ of Section 34, run thence East to the NE corner of such Section, thence South to the SE corner of the NE $\frac{1}{4}$ of said Section, thence run diagonally across said quarter section from the said SE corner of the NE $\frac{1}{4}$ to the NW corner of the NE $\frac{1}{4}$; being the point of beginning); all of such land being in Township 26 South, Range 35 East, and containing 5,000 acres, more or less;

Which said property lies generally South and West of the St. Johns River;

--*

SW $\frac{1}{4}$ of SE $\frac{1}{4}$ of Section 35, Township 25 South, Range 36 East. SE $\frac{1}{4}$ and SE $\frac{1}{4}$ of SW $\frac{1}{4}$ of Section 28, Township 26 South, Range 36 East. E $\frac{1}{2}$ of NW $\frac{1}{4}$ and SW $\frac{1}{4}$ of NW $\frac{1}{4}$ and NE $\frac{1}{4}$ of SW $\frac{1}{4}$ of Section 30, Township 26 South, Range 37 East.

--*

All of Section 6; all of that part of Section 7 which lies West of the thread or middle of the St. Johns River; all of that part of Section 18 which lies West of the thread or middle of the St. Johns River, all in Township 26 South, Range 35 East;

It is the purpose and intent of this instrument to convey all right, title and interest of the parties of the first part herein in all lands lying and being situate in Brevard County, Florida, to the party of the second part herein, and to exclude from this conveyance all lands owned by the parties of the first part in Brevard County, Florida, prior to the date of this instrument which have been conveyed to third parties prior to the date of this instrument.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, dower and right of dower, reversion, remainder and easement thereto belonging or in anywise appertaining:

DEED
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TO HAVE AND TO HOLD the same in fee simple forever.

And the said parties of the first part do covenant with the said party of the second part that they are lawfully seized of the said premises, that they are free of all incumbrance, and that they have good right and lawful authority to sell the same; and that said parties of the first part doth hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands and seals the day and year above written.

Signed, Sealed and delivered in Our Presence:

Andrew Duda
James Lachert

John Duda (SEAL)

Katherine Duda (SEAL)

Andrew Duda (SEAL)

Elizabeth Duda (SEAL)

Ferdinand Duda (SEAL)

Anna Duda (SEAL)

DEED 378 PAGE 116

STATE OF FLORIDA : SS
COUNTY OF SEMINOLE

I HEREBY CERTIFY, That this day in the next above named State and County before me, an officer duly authorized and acting, personally appeared JOHN DUDA and KATHERINE DUDA, his wife, ANDREW DUDA, JR., and ELIZABETH DUDA, his wife and FERDINAND DUDA and ANNA DUDA, his wife, to me well known and known to me to be the individuals described in and who executed the foregoing deed, and they acknowledged then and there before me that they executed said deed.

AND I FURTHER CERTIFY, That the said KATHERINE DUDA, KNOWN to me to be the wife of the said John Duda, said ELIZABETH DUDA, known to me to be the wife of the said Andrew Duda, Jr., and ANNA DUDA, known to me to be the wife of the said Ferdinand Duda, on a separate and private examination, taken and made in the above named State and County by and before me, separately and apart from their said husbands, did this day acknowledge before me, an officer authorized to take acknowledgments of deeds, that they executed the foregoing deed freely and voluntarily and without any compulsion, constraint, apprehension or fear of or from their said husbands.

WITNESS my hand and official seal this 17 day of Sept
A. D. 1953.



[Signature]
Notary Public

Notary Public, State of Florida at Leon
City Commission Expires 2 Feb. 1954

73510
NO. 73510
AT 2:20 O'CLOCK PM

RECORDED IN THE PUBLIC RECORDS OF
BREVARD COUNTY, FLORIDA, IN THE BOOK AND PAGE NOTED ABOVE
BY *[Signature]* DEPUTY CLERK
FILED OCT - 7 1953

RECORD VERIFIED

OCT 15 1969

G. M. BIRMONS, CLERK

B. J. ...

157 Not 1/20/11 100/1011

PK 5-14-75
Supervisors 1
Page 2-21
Dulles

This Indenture, Made this 29 day of January

A. D. 1954, BETWEEN JOHN DUDA and KATHERINE DUDA, his wife, ANDREW DUDA, JR. and ELIZABETH DUDA, his wife, and FERDINAND DUDA and ANNA DUDA, his wife

of the County of Seminole and State of Florida

part 108 of the first part, and A. DUDA & SONS, INC., a corporation existing under the laws of the State of Florida with permanent postoffice address at Oviedo, Florida

County of Seminole, State of Florida, called

Grantee, party of the second part, Witnesseth; that the said part 108 of the first part, for and in consideration of the sum of TEN DOLLARS

to them in hand paid, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, remised, released, enfeoffed, conveyed and confirmed, and by these presents do grant, bargain, sell, alien, remise, release, enfeoff, convey and confirm unto the said party of the second part and its successors and assigns forever, all that certain parcel of land lying and being in the County of Brevard and State of Florida

more particularly described as follows:

NE 1/4 of SW 1/4, Section 31; NW 1/4 of SE 1/4, Section 31, Township 25 South, Range 36 East, Brevard County, Florida.

This Deed is given for the purpose of correcting an error

in the description of that certain Deed from John Duda and Katherine Duda, his wife, Andrew Duda, Jr. and Elizabeth Duda his wife, and Ferdinand Duda and Anna Duda, his wife to A. Duda & Sons, Inc., dated September 29, 1953, recorded in Deed Book 378, Page 200, Public Records of Brevard County, Florida.

Together with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, dower and right of dower, reversion, remainder and easement thereto belonging or in anywise appertaining. To Have and To Hold the same to the said party of the second part.

And the said part 108 of the first part do covenant with the said party of the second part, that they ^{are} lawfully seized of the said premises; that they are free of all incumbrances, and that they ^{have} good right and lawful authority to sell the same; and that said part 108 of the first part do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, The said part 108 of this first part have hereunto set their hand and seals, the day and year above written.

Signed, sealed and delivered in our presence:

[Signatures of witnesses]

[Signatures of parties]
John Duda (SEAL)
Katherine Duda (Seal)
Andrew Duda, Jr. (Seal)
Elizabeth Duda (SEAL)
Ferdinand Duda (SEAL)
Anna Duda (SEAL)

State of FLORIDA

County of SEMINOLE

DEED BOOK 381 PAGE 607

I HEREBY CERTIFY, That on this 27 day of January, A. D. 1954, before me personally appeared JOHN DUDA and KATHERINE DUDA, his wife, ANDREW FERDINAND DUDA and ANNA DUDA, his wife, to me known to be the persons described in and who executed the foregoing conveyance to A. DUDA & SONS, INC. and severally acknowledged the execution thereof to be their free act and deed for the uses and purposes therein mentioned; and the said KATHERINE DUDA, ELIZABETH DUDA and ANNA DUDA the wives of the said JOHN DUDA, ANDREW DUDA, JR. and FERDINAND DUDA on a separate and private examination taken and made by and before me, and separately and apart from their said husbands did acknowledge that they made themselves a party to the said deed of conveyance for the purpose of renouncing, relinquishing and conveying all their right, title and interest, whether of dower or of separate property, statutory or equitable, in and to the lands therein described, and that they executed said deed freely and voluntarily, and without any constraint, fear, apprehension or compulsion of or from their said husbands.

WITNESS my signature and official seal at Quincy in the County of Seminole and State of Florida this 27 day of January 1954.



Andrew Stark
Notary Public,
Notary Public, State of Florida at Large
My commission expires Feb. 15, 1954

John M. & W. S. Reed Company, Jacksonville, Florida 778219

Warranty Deed

TO CONVEYANCE

ABSTRACT OF DESCRIPTION

Date

INS. OFF.

1-28
81045
TRENDS FORM R.E. 34

NO. 81045
AT 1:57 O'CLOCK P M
BREVARD COUNTY, FLORIDA
RECORDED IN THE PUBLIC RECORDS OF
IN THE 'BOOK AND PAGE NOTED ABOVE'
G. M. SIMMONS, CLERK CIRCUIT COURT --
BY J. M. Rogers DEPUTY CLERK
FEB 10 1954
RECORD VERIFIED

A. W. Miller + Sons, Inc.
Quincy, Fla.

ARTICLES OF AMENDMENT TO
ARTICLES OF INCORPORATION OF
DUDA LANDS, INC.

The undersigned President and Secretary of Duda Lands, Inc. do hereby certify that on February 5, 1990, all of the Directors of Duda Lands, Inc. approved a resolution amending Article I of the Articles of Incorporation of Duda Lands, Inc. by written consent in accordance with the provisions of Section 607.134 of the Florida Statutes; that on February 5, 1990, the sole shareholder of Duda Lands, Inc. approved the resolution amending Article I of the Articles of Incorporation of Duda Lands, Inc. by written consent in accordance with the provisions of Section 607.394 of the Florida Statutes; and that the following is a true and correct copy of said resolutions:

RESOLVED, that Article I of the Articles of Incorporation of this Corporation be amended in its entirety to read as follows:

ARTICLE I - NAME OF CORPORATION

The name of this Corporation is The Ylera Company.

IN WITNESS WHEREOF, we have hereunto set our hands and seals for this corporation this 5th day of February, 1990.

DUDA LANDS, INC.

By: Joseph A. Duda
Joseph A. Duda, President

Attest: Luther J. Duda
Luther J. Duda, Secretary

(CORPORATE SEAL)

BOOK PAGE
2166 1998
SAMPLE CO. FL.

State of Florida COPY



Department of State

SEMINOLE CO. FL.

OFFICIAL RECORDS

I certify the attached is a true and correct copy of the Article's of Incorporation, as amended to date, of THE VIERA COMPANY, a corporation organized under the laws of the State of Florida, as shown by the records of this office.

The document number of this corporation is 307455.

MARYANNE MORSE

026969

1990 MAR 30 PM 1:37

Given under my hand and the Great Seal of the State of Florida, at Tallahassee, the Capital, this the 16th day of March, 1990.



Jim Smith
Secretary of State

STATE OF FLORIDA

COUNTY OF BREVARD

The foregoing instrument was acknowledged before me on this day by JOSEPH A. DUDA and LUTHER J. DUDA, President and Secretary, respectively, of DUDA LANDS, INC., a Florida corporation, on behalf of the corporation.

WITNESS my hand and official seal in the State and County last aforesaid this 5th day of February, 1990.

Linda J. Wheel
Notary Public, State of Florida

My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA
MY COMMISSION EXPIRES: 12/7, 14, 1991.

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BOOK
PAGE
2166 1939
SEMPERLE CO. FL.

ARTICLES OF AMENDMENT TO
ARTICLES OF INCORPORATION OF
ARIPEKA DEVELOPMENT CO.

FILED

DATE
MAY 11 1984

The undersigned President and Secretary of Aripeka Development Co. do hereby certify that on March 27, 1984, all of the directors of Aripeka Development Co. approved a resolution amending Article I of the Articles of Incorporation of Aripeka Development Co. by written consent in accordance with the provisions of Section 607.134 of the Florida Statutes; that on March 27, 1984 the sole shareholder of Aripeka Development Co. approved the resolution amending Article I of the Articles of Incorporation of Aripeka Development Co. by written consent in accordance with the provisions of Section 607.391 of the Florida Statutes; and that the following is a true and correct copy of said resolution:

RESOLVED, that Article I of the Articles of Incorporation of this corporation be amended in its entirety to read as follows:

"ARTICLE I - NAME OF CORPORATION

The name of this corporation is Duda Lands, Inc."

IN WITNESS WHEREOF, we have hereunto set our hands and seals for this corporation this 27th day of March, 1984.

ARIPEKA DEVELOPMENT CO.

By: Edward Duda
Edward Duda, President
Attest: Luther J. Duda
Luther J. Duda, Secretary

(CORPORATE SEAL)

Sworn to and subscribed before me
this 27th day of March, 1984.

Walter K. Avelly
Notary Public - State of Florida

My Commission Expires
Notary Public State of Florida at Large
My Commission Expires April 15, 1985

2166 1987
GENERAL CO. FL.
PAGE

Viera Town Center Alternative Development Standards (ADS)

Viera Town Center

Attachment A

Parcel 4a, Town Center District Alternative Development Standards



Prepared for:
The Viera Company
7380 Murrell Road, Suite 201
Viera, FL 32940

November 2019

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Overview

Brevard County PUD Zoning Code Sec. 62-1442 (a)

"The planned unit development is a concept which encourages and permits variation in development by allowing deviation in lot size, bulk or type of dwellings, density, lot coverage and open space from that required in any one residential zoning classification under this article. The purpose of a planned unit development is to encourage the development of planned residential neighborhoods and communities that provide a full range of residence types, as well as industrial, commercial and institutional land uses. It is recognized that only through ingenuity, imagination and flexibility can residential developments be produced which are in keeping with the intent of this subdivision while departing from the strict application of conventional use and dimension requirements of other zoning districts and article VII of this chapter, pertaining to subdivisions."

The Viera Town Center will embody the character of the Viera community, serving as the epicenter of residential, commercial, civic, and recreational activity in central Brevard County. The urban form of the proposed Viera Town Center is unique within the unincorporated areas of Brevard County therefore these alternative standards were developed for Parcel 4a (as shown on the Central Viera PUD Detail Plan) to allow for a centrally-located, pedestrian-oriented, mixed-use mainstreet/downtown district for Viera.



Definitions

Bike Lanes are separate lanes in the travelway dedicated to bicycles. Bike lanes shall be a minimum of four feet wide, and shall be striped and marked appropriately.

Bike Routes are streets signed for bicycle use by sharing the roadway with other vehicles.

Curb Extensions are traffic calming measures intended to slow the speed of traffic and reduce pedestrian road crossing distances.

Median Types Narrow or Wide
NARROW medians are used for visual breakdown of the street space and traffic calming and are not intended to allow turn lanes.
Wide medians are used for visual breakdown of the street and are wide enough to allow space for left turn lanes.

Movement - The characteristic of motor vehicle traffic flow, described as FREE, SLOW, or YIELD

- **FREE** flow allows unimpeded travel in either direction within designated lanes.
- **SLOW** flow occurs when parked cars constrain the space available for moving vehicles and drivers must react to the location of oncoming vehicles.
- **YIELD** flow does not permit two-way traffic when parked vehicles are present. Motorists must stop and yield the right-of-way to oncoming vehicles.

Multi-Use Trails are travel paths separate from and located outside of the right-of-way and are designed for non-motorized forms of traffic such as pedestrian and bicycle traffic.

Outside Curb Type The type of edge treatment to be provided at the outside edge of pavement, described as TYPE B,D,E,F, Ribbon or No Curb

Planter Types (See Street Types for graphic depiction)

- **GRASS** includes areas for sod, shrubs, or groundcover and flowering or canopy trees.
 - **INTERMITTENT** planters are raised or flush areas for the planting of shrubs or ground cover and flowering or canopy trees.
 - **TREE WELLS** are used in more urban conditions where continuous sidewalks are desired. This may include a tree grate.
- Infiltration wells may be used in all planter types. Objects within the clear zone shall conform to FDOT break-away criteria.

Roadway Edge The type of edge treatment to be provided at the outside edge of pavement, described as TYPE B,D,E,F, Ribbon or No Curb

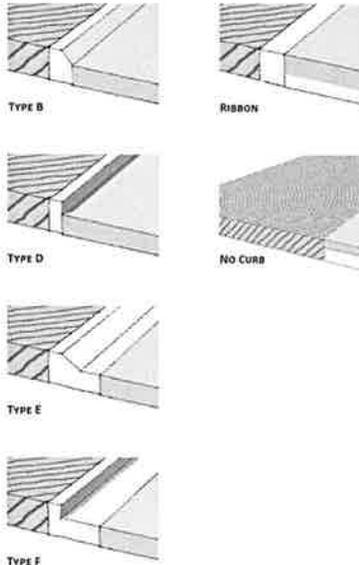
Swales are landscaped areas intended to facilitate conveyance of stormwater parallel to a street.

Travel Lanes (each direction) The number of through lanes to be provided in each direction (not applicable for yield movement facilities).

Turn Lanes The lanes that may be provided on each approach at intersections where turn lanes are required (not applicable for yield movement facilities) to facilitate traffic operations.

Roadway Edge Types

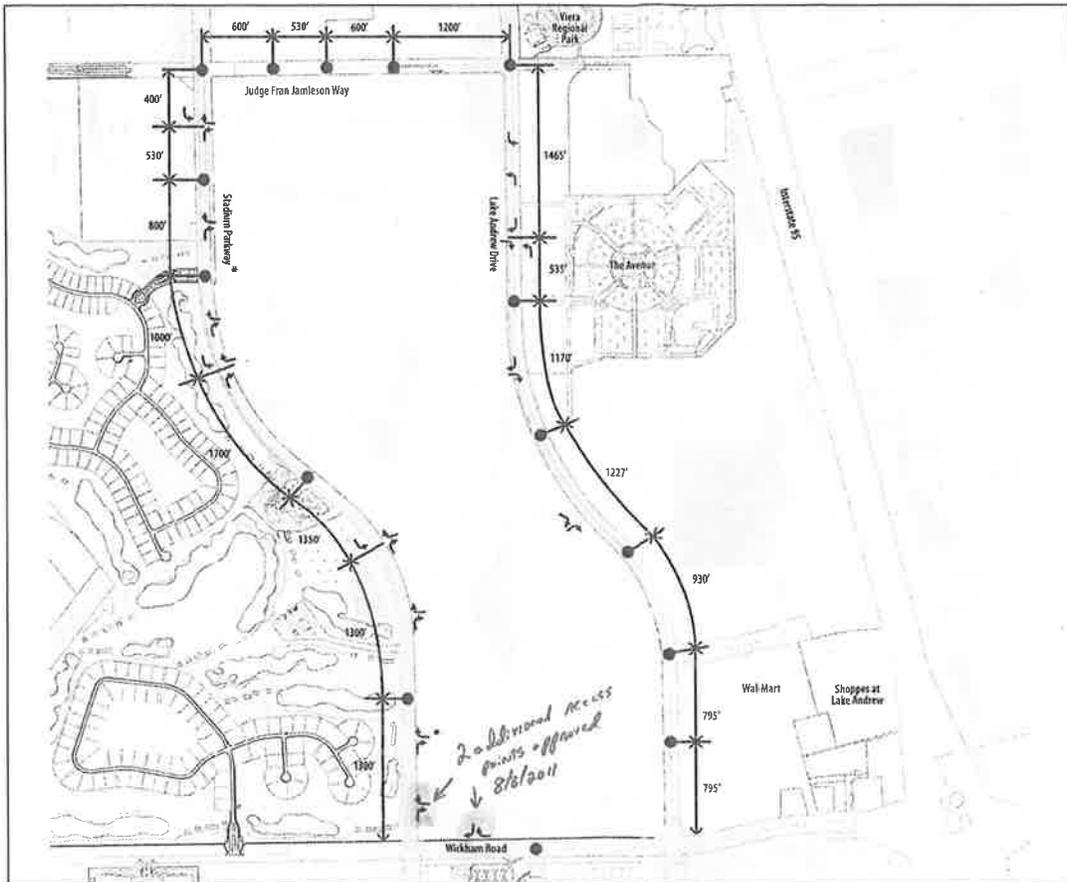
Edge of pavement treatments shall be generally designed similar to the types below or variations thereof.



Note:
 1. Curb types shown are for reference only. All curb construction shall conform to FDOT and Brevard County construction details and specifications.



VIERA TOWN CENTER - Access Management Plan



Legend

- Full Median Opening
- ⊗ Left-in Directional Opening to be Closed
- ↙ Left-in, Directional Opening
- ↘ Right-in, Right-out Driveway Opening

All right-in, right-out driveway locations are shown for conceptual purposes only. The exact location of right-in, right-out driveway will be determined as part of the site plan approval process. Each right-in, right-out driveway will be at least 200 feet from the adjacent upstream and downstream intersections.

*Permissible driveway movements for Stadium Parkway access based on ultimate four-lane configuration for Stadium Parkway. Under current conditions, a full in-directional access may be permitted on a temporary basis subject to implementation of an access management plan upon the completion of the four-lane wide improvements for Stadium Parkway.

Hassan Kamal, P.E.

JUL 2 5 2011

State of Florida, No. 41951

July 2011

Street Types

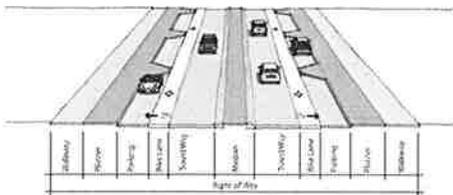
Brevard County PUD Zoning Code Sec. 6Z-1442 (b)(5)

"This subdivision is intended to establish procedures and standards for planned unit developments within the unincorporated areas of the county, in order that the following objectives may be attained:

- *Efficient use of land which may result in smaller street and utility networks and reduce development costs."*

Avenue

Avenues are local free movement roadways with medians connecting locations within the community.

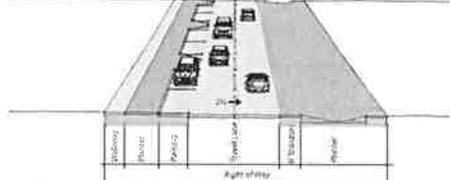


DESIGN PARAMETERS	MIN	MAX
Target Speed	25	35
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Left Turn Lanes*	—	1
Bike Facility (Optional)	Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	12
Bike Lane Width (ft)	4	5
Left Turn Lane Width (ft)	10	11
Parking Lane Width (parallel parking) (ft)	8.5	9.5
Parking Lane Width (angled parking) (ft)	16	19
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F	
Median Curb Type	Type B, E, or F	
MEDIANS	MIN	MAX
Allowable Median Type	Narrow or Wide	
Narrow Median Width (ft)	6	8
Wide Median Width (ft)	15.5	28
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass, Raked, or Tree Well	
Planter Width (ft)	6	— ³
Walkway Width (each side) (ft)	8	—
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	78	130

- NOTE(S)**
1. Use web planter zone intended to accommodate street furniture between tree planting areas.
 2. Width measured from face of curb to edge of travel lane.

Drive

DRIVES are roadways which define the edge between an urbanized and natural condition, usually along a waterfront, a park, or a preserved natural area, with one side having the urban character or a street or boulevard, with sidewalks and buildings, while the other has the qualities of a road or parkway with naturalistic planting, rural detailing, and/or bio-retention facilities.

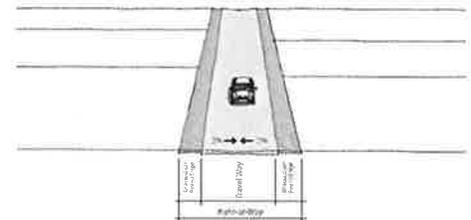


DESIGN PARAMETERS	MIN	MAX
Target Speed	25	35
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Left Turn Lanes*	—	1
Bike Facility (Optional)	Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	11
Bike Lane Width (ft)	4	5
Left Turn Lane Width (ft)	10	11
Parking Lane Width (parallel parking) (ft)	8.5	9.5
Parking Lane Width (angled parking) (ft)	16	19
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Ribbon, No Curb, Type D or F	
MEDIANS	MIN	MAX
Allowable Median Type	None	
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass, Raked, or Tree Well	
Planter Width (ft)	6	15
Walkway Width (each side) (ft)	5	12
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	50	80

- NOTE(S)**
1. Walkway may be provided on one side only in cases where connected pedestrian facilities are provided in adjacent park areas and within 40 feet of the roadway.
 2. May have parking on both sides, parking to be outside of travel lane.
 3. Width measured from face of curb to edge of travel lane.
 4. For areas where parking is not allowed on one side of the Drive, Brazos County Fire Rescue (BCFR) requires the installation of two parking signs in accordance with the applicable sections of the Florida Fire Prevention Code unless, during the time of Site or Subdivision Plan review, the Applicant demonstrates that the signs are not warranted. If it is determined that they are not required at the time of Site/Subdivision Plan Review, BCFR shall retain the right to require the installation of the signs if actual light conditions and operations result in impediment to the use of the roadway for emergency access.

Alley

ALLEYS are slow movement facilities providing access to service areas, parking, outbuildings, or garages, and contain utility easements. The streetscape consists of gravel or landscaped edges. Parking is not permitted on the travel way, or within the alley right-of-way.



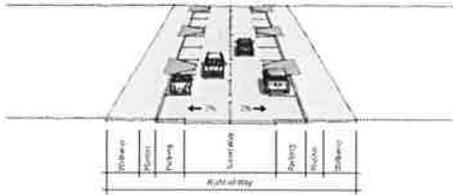
DESIGN PARAMETERS	MIN	MAX
Target Speed	10	15
Movement	Slow	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Bike Facility	None	
LANE DIMENSIONS	MIN	MAX
Pavement Width (ft)	12	14
ROADWAY EDGE	MIN	MAX
Outside Curb Type	None or Ribbon	
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	18	—

- NOTE(S)**
1. Alleys may provide the sole access to residential buildings that front directly onto a park space (a condition commonly referred to as "mews" type developments) so long as the overall block length requirements are met. Setbacks in these cases are measured from the front property line. See building lot types for park and open space setbacks.
 2. Lane dimensions may be wider at the discretion of the developer.
12 ft. if serving 0-30 lots
14 ft. if serving 31 or more lots
 3. Water may drain to center of alley with an inverted crown.
 4. Alley intersections shall maintain a minimum 25' corner radius, with a 20 foot paved radius, with the balance of the radius stabilized as necessary to accommodate heavy duty loading.
 5. Alleys may be owned and maintained by Community Development District (CDD) or Neighborhood Association.
 6. The function of alleys shall not be obstructed for service area use and vehicular access; therefore, vehicular parking shall be prohibited on any alley travel way, including overhangs from vehicles from residential or non-residential land uses.
 7. Alleys designed for two-way operation shall be a minimum 20 feet wide, inclusive of optional ribbon curb edges.
 8. No parking shall be permitted in Alleys. Signage in accordance with applicable Florida Fire Prevention Code will be provided as required.

*Note: May have up to two (2) turn lanes at the intersection of Lake Andrew and/or Stadium Parkway.

Commercial Street

STREETS small scale, free movement, local roadways suitable for primary streets within the town center, providing frontage for higher density urban uses like shops, offices, apartment buildings, or townhouses.

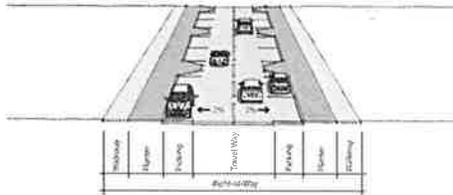


DESIGN PARAMETERS	MIN	MAX
Target Speed	15	25
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Turn Lanes	—	1
Bike Facility (Optional)	Bike Route or Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	11
Bike Lane Width (ft) ³	4	5
Parking Lane Width (parallel parking) (ft) ²	8.5	9.5
Parking Lane Width (angled parking) (ft)	16	19
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F	
MEDIANS	MIN	MAX
Allowable Median Type	Narrow (optional)	6 8
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Intersect and/or Tree Walk ⁵	
Planter Width (ft)	6	—
Walkway Width (each side) (ft)	6	—
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	60	100

- NOTES**
1. Planter zone intended to accommodate street furniture between tree planting areas.
 2. On-street parking spaces shall be striped; width measured from face of curb to edge of travel lane.
 3. Bike Lane not required.
 4. Parking not required.
 5. Bulb-outs are not required.

Standard Street

STREETS small scale, free movement, local roadways suitable for neighborhoods and secondary streets within town center areas providing frontage for higher density urban uses like shops, offices, apartment buildings, townhouses or small-lot single family homes.

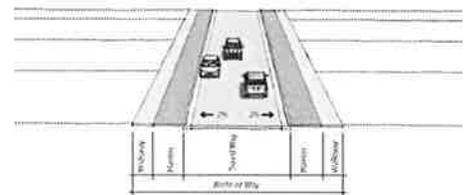


DESIGN PARAMETERS	MIN	MAX
Target Speed	15	25
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Turn Lanes	—	1
Bike Facility (Optional)	Bike Route or Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	9	11
Bike Lane Width (ft)	4	5
Parking Lane Width (parallel parking) (ft) ¹	8.5	9.5
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F	
MEDIANS	MIN	MAX
Allowable Median Type	None	
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass and/or Raised	
Planter Width (ft)	6	8
Walkway Width (each side) (ft)	5	7
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	50	80

- NOTES**
1. Width measured from face of curb to edge of travel lane.

Residential Street

STREETS are small scale, slow movement, local roadways suitable for neighborhood areas providing frontage for apartment buildings, townhouses, or small-lot single family homes.

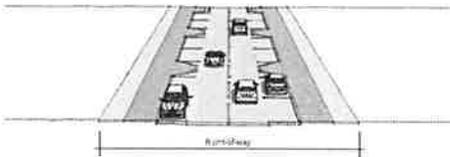


DESIGN PARAMETERS	MIN	MAX
Target Speed	15	25
Movement	Slow	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction) ¹	1	1
Turn Lanes	NA	NA
Bike Facility (Optional)	Bike Route	
LANE DIMENSIONS	MIN	MAX
Pavement Width (ft)	20	28
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F, Ribbon or None	
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass	
Planter Width (ft)	6	15
Walkway Width (each side) (ft)	5	7
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	45	70

- NOTES**
1. Street designed for two-way travel, yield movement. Parking on one side (20' minimum, 22' maximum), parking allowed on both sides (26' minimum).
 2. For blocks which consist of predominantly townhomes and/or apartment buildings, street widths and on-street parking shall be subject to review and approval by Brevard County Fire Rescue Department so as to insure adequate fire and emergency vehicle access and operation.
- *Walkway on one side not required if adjacent to park.

Details

Public Right of Way Diagram (Maintenance)



The Public Right of Way Diagram above illustrates a typical right-of-way (ROW) dedicated to the public within the Town Center District. As illustrated, the public ROW shall include the entire area within the ROW boundary lines. Within a public ROW, the public shall maintain the roadway from the back of curb to back of curb (including all related improvements); together with all public sidewalks and public utilities located therein.

Provided that the County determines that such use of a public ROW will neither conflict with the interests of the public nor constitute a traffic or pedestrian safety hazard, private improvements such as street trees, landscaping, building overhangs, canopies, bay windows, balcony overhangs, shade structures, awnings, or similar facilities, irrigation facilities, community signage, street lights and hardscape features, shall be permitted within a public ROW from the back of curb to the outer boundary line of the ROW. Additionally, maintenance of any street trees and any repair or maintenance of streets, curbs, sidewalks or utilities damaged by said trees shall be the responsibility of the entity responsible for maintaining the street trees and said responsibility shall be fully addressed within the terms and conditions of the Right-of-Way Use Agreement described below. The installation, use, repair and maintenance of such private improvements within a public ROW shall be in accordance with the terms and conditions of a Right-of-Way Use Agreement entered by the County and the entity responsible for maintaining such private improvements, which entity shall be either a property owners association or a community development district formed pursuant to Chapter 720 or Chapter 190 of the Florida Statutes, respectively. Private improvements within a public ROW shall be maintained exclusively by such entities and the public shall have no responsibility whatsoever for the maintenance of any private improvement located within a public ROW.

Circulation

Vehicular and Pedestrian Connectivity

On-Street Parking

1. On streets with dedicated on-street parking, on-street parking may cease and the curb may extend to the travelway for a length of 25 feet, including tapers. The resulting bulb-out may be landscaped with a street tree.
2. Parallel parking will be restricted within 25 feet of any intersection turnout at the approach leg of the intersection and 40 feet on the departure leg of the intersection. Parallel parking layout shall be evaluated at the time of detailed design to insure that adequate sight distance is provided.
3. Curb Extensions, conforming to the criteria described in note #2 directly above, will be utilized for all streets with on-street parking.
4. The 25 feet and 40 feet dimensions shall be measured from the point of curvature of the curb return.
5. Nothing within these Alternative Development Standards is intended to approve parallel or angled parking within the right of way of Stadium Parkway or Lake Andrew Drive. Any proposals for parking within these rights of way must receive separate, specific approval from Brevard County.

Access

Any tract, parcel or lot within the Town Center District may be platted, receive site plan approval and be eligible for the issuance of building permits if such tract, parcel or lot either (1) has frontage on a public or private road ROW meeting the requirements of the Brevard County Land Development Regulations, or (2) has the appurtenant exclusive or non-exclusive right of vehicular ingress and egress to and from a public or private road ROW via a private irrevocable and perpetual easement or easements over a private driveway and/or driving lanes within a private parking area. In the latter event, such private easement(s) shall meet the following requirements:

1. Establish a continuous right-of-way at least 25 feet wide to and from a public or private road ROW, improved with a paved roadway, driveway or driving lane consisting of not less than an eight inch (8") stabilized sub-grade, a six inch (6") base course and one and one-half inch (1½") of Type "S" asphalt (or other design meeting or exceeding a Structural Number of 2.38 as calculated using the methods and values outlined in the Florida Department of Transportation Flexible Pavement Design Manual (January 2000)).
2. The County is granted ingress/egress over such private easements in connection with providing police, fire, emergency and other public services. All private easements, regardless of how many lots or parcels are served, must be depicted on the Site Plan submitted for review.

Such private easements may provide access to and from a public or private road ROW for more than one tract, parcel or lot and up to four (4) tracts, parcels or lots, subject to review by the Land Development Division at the time of site plan review. Any additional tracts, parcels or lots beyond the fourth lot (4) will require the applicant to provide assurance that the easement is of sufficient capacity (width, pavement, etc.) to meet the requirements of the additional traffic from the fifth and any subsequent tract, parcel or lot.

Where a private easement(s) provides access to and from a tract, parcel or lot in accordance with the foregoing, such tract, parcel or lot must abut the private easement area at a location having a contiguous length of not less than 25 feet. Access via private easements is subject to review by Brevard County at time of site plan submittal.

Driveways

Driveway cuts may be provided consistent with applicable access management standards.

Paving Specifications

Structural Course: 1½" - 2" of Type S-1 or SP-12.5 Asphaltic concrete tested per FDOT and/or Brevard County Standard Requirements

Roadway Base: 8"-10" limerock or cemented coquina, LBR 100 compacted to 98% maximum density per AASHTO T-180; or 8"-10" soil cement, minimum 300 PSI, compacted to minimum 97% maximum density per AASHTO T-134, with Prime/Tack Coat, per FDOT Standard Specifications, Latest Edition

Roadway Subgrade: 8"-12" Type "B", stabilized to a minimum LBR 40 & compacted to a minimum of 98% maximum density AASHTO T-180

Pedway: 6" thick concrete, FDOT Class 1, fiber reinforced, 28 day 3000 PSI, with light broom finish; cross slope of 1.0% minimum and 2.0% maximum; subgrade compacted to minimum 98% density per AASHTO T-180.

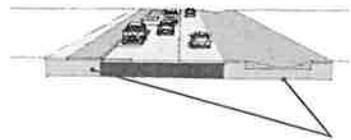
Curbing: FDOT Type Curbs shall be a minimum of 3000 PSI concrete & constructed in accordance with Section 300 of the FDOT Design Standards, Latest Edition

All disturbed areas within the R/W shall be sodded, or otherwise landscaped or stabilized in accordance with approved plans and permits.

The above specifications shall be valid for a period of five (5) years from the date of approval of these Alternative Development Standards. At the end of the five years, the specifications are subject to review and modification by Brevard County and the Applicant and may be adjusted to conform to applicable Brevard County specifications in effect at that time.

Infiltration Areas

In order to facilitate low impact development (LID) in street design and construction, areas below planters, swales, or shoulders may be used for stormwater infiltration, exfiltration, or storage, as shown on the example street section.



Potential LID Stormwater Management Areas (excludes roadway, parking, and sidewalk areas)

Signage Standards

Overall

Colors, lettering styles, illumination, materials and design shall comply with the applicable design guidelines promulgated by the Developer.

Applicability

The standards set forth in this document shall apply to all properties within the Town Center District.

The following sign types are acceptable in the Town Center District:

Building Types:

- Wall Signs
- Window Signs
- Hours & Address

Projecting Types:

- Projecting Signs
- Hanging Signs

Other Types:

- Awning Signs
- Canopy Signs
- Restaurant Menu Boxes
- Temporary Signs
- Menu Boards/Street Art Signs
- Community and Directional Signs

Maximum Allowable Copy Area

Within the Town Center District, a total sign area of two square feet shall be allowed for each linear foot of building frontage along the primary business site building frontage. Primary business site building frontage is defined as a primary entrance established per business site. If the building has frontage on more than one street, additional sign area shall be allowed, based on one square foot of sign area for each linear foot of building frontage along the secondary street(s) frontage of the building site.

Sign Types

Projecting Signs are affixed to the face of a building or structure and project in a perpendicular manner more than 12 inches from the wall surface to which it is mounted.

- Projecting signs shall appear on the upper facade of multi-story buildings advertising ground floor tenants.
- Projecting signs shall provide a vertical clearance of 9 feet along pedestrian areas.
- Projecting signs shall be oriented to pedestrians passing on the sidewalk in front of the buildings or the under arcade rather than to automobiles or pedestrians on the far side of the street.

Wall Signs are signs mounted flush and fixed securely to a building wall, projecting no more than 12 inches from the face of a building wall, and not extending sideways beyond the building face or above the highest line of the building to which it is attached.

Hanging Signs are similar to Projecting Signs except that they are suspended under a canopy or attached to a ceiling. Hanging signs are generally smaller than Projecting Signs due to their lower mounting height.

- Hanging signs shall be used only at ground floor locations.
- Hanging signs shall be small in scale and provide a vertical clearance of 9 feet along pedestrian areas.
- Hanging signs shall be oriented to pedestrians passing on the sidewalk in front of the buildings rather than to automobiles or pedestrians on the far side of the street.

Awning & Canopy Signs are signs that are printed on, painted on, or attached to an awning or canopy above a business door or window. They generally serve to bring color to the shopping environment and are oriented toward pedestrians from the opposite side of the street.

- Sign lettering and/or logo shall comprise no more than 30% of the total exterior surface of an awning or canopy.
- Awnings and canopies must be permanently attached to buildings.
- The minimum height of awnings shall be 9 feet from the lowest point to the sidewalk.

Window Signs are signs that are painted, posted, displayed, or etched on an interior translucent or transparent surface, including windows or doors. This type of signage generally contains only text but in some circumstances can express a special business personality through graphic logos or images combined with color. Any advertising display located within 24" of a business window or door is considered a window sign.

- Window signs shall not exceed 10% of a single windowpane so that visibility into and out of the window is not obscured.
- Sign copy shall not exceed 8 inches in height.

Restaurant Menu Box Signs are signs that incorporate a menu containing a listing of products and prices offered by the business. Such signs facilitate the customer in locating a restaurant in which to patronize. Therefore, prominently displayed menus with prices and other important information can help the customer in making this decision.

- Restaurant menu signs shall be located in a permanently mounted display box on the surface of the building within 8 feet to the entry. Taping a menu to a box is not an appropriate menu sign.

Menu Board/Street Art Signs are designed to stand on their own either on public or private property. Such signs are portable and are usually placed along public sidewalks to attract pedestrians into shopping areas.

- Menu board/street art signs are permitted in the Town Center District area only and shall advertise only the business which it is on display.
- Menu board/street art signs shall be located in front of the business and clearly display the business name and address on the sign.
- Menu board/street art signs shall be removed at the end of the business day.

Community and Directional Signs shall be ground mounted and permanently installed.

Traffic Control Devices and signage must conform with the applicable MUTCD and FDOT criteria, including clear zone, breakaway construction, sign sizes and heights. Decorative street signage conforming with said standards are permitted and will be subject to the maintenance requirements and obligations as outlined within a Right-of-Way use agreement as described on Sheet 7 of this document.

Signage Standards

Subdivision and Multi-family Signage

- a. *General:* The Developer may construct a subdivision or multi-family sign, wall or fence in conjunction with the development of a subdivision or multi-family project provided such construction is in accordance with the Alternative Design Standards for the Town Center District.
- b. *Conditions:*
 1. The plans for such walls, fences and signs shall be submitted at the time the plans for other subdivision or multi-family improvements are submitted. If a wall and/or fence is not detailed with final engineering plans, a site plan will be required with applicable fees.
 2. No sign, wall or fence shall be constructed which interferes with the line of sight of motorist approaching or exiting a subdivision. No sign or fence shall be constructed within the limit of clear sight as defined by FDOT Index 546.
 3. A wall or fence, if constructed, may be built on private property along the frontage of the subdivision or multi-family project adjacent to the roadway subject to review and approval by the County and conformance with the clear sight requirements outlined in condition #2 above. The wall or fence shall not exceed eight feet in height and shall be of one uniform architectural design. Walls are not to be constructed within public utility easements unless an easement agreement is executed with the Board of county Commissioners.
 4. All walls, fences and signs shall be constructed in accordance with building and construction standards and codes. The land development section shall approve the location, size and materials of all walls or fences and subdivision signs.
 5. No sign shall be higher than fifteen feet in height and cannot exceed 150 square feet in overall size. Subdivision or multi-family signs which are part of a wall or fence shall not exceed fifteen feet in height.
 6. Subdivision and multi-family walls or fences and signs are exempt from the county zoning regulations.
 7. Signs shall be permitted within public right-of-way, including median tracts, subject to review and approval by the County and conformance with the clear sight requirements outlined in condition #2 above. Signs proposed within the public right-of-way are subject to a right-of-way permit and a right-of-way use agreement.

Block Standards and Building Lot Types

Brevard County PUD Zoning Code Sec. 62-1442 (b)(3-4)

"This subdivision is intended to establish procedures and standards for planned unit developments within the unincorporated areas of the county, in order that the following objectives may be attained:

- Creation of a variety of housing types and compatible neighborhood arrangements that give the home buyer greater choice in selecting types of environment and living units.
- Allowance of sufficient freedom for the developer to take a creative approach to the use of land and related physical development, as well as utilizing innovative techniques to enhance the visual character of the county."

Block Size Standards

1. For commercial, multi-family, and mixed-use development, the typical block length is 300 to 750 feet measured from R.O.W. line. For attached and detached residential uses, the typical block length is 250 to 600 feet.
2. A park space with pedestrian accommodation, with building frontage on the park, commonly referred to as a "mews," may constitute the edge of the block.
3. For attached and detached residential uses utilizing alleys for access, typical maximum block length shall be 400 feet. Blocks longer than 400 feet, utilizing alley access, shall provide additional assurance of adequate fire protection, such measures may include alternative block design for enhanced access ("H" or "T" blocks), wider, two-way alley access or incorporation of fire sprinkler systems within all buildings within the specific block.

The following Alternative Standards are in lieu of Brevard County Zoning Code Sec. 62-1446(d).

LOT REQUIREMENTS

Lot Width (ft)	Width of lot in feet (ft) parallel to primary street frontage as measured at street setback
Lot Depth (ft)	Depth of lot in feet (ft) away from primary street frontage as measured at shortest lot line
Lot Size (sf)	Area of lot measured in square footage (sf)
Lot Coverage (%)	Percentage (%) of lot that may be covered by buildings

BUILDING ENVELOPE

Street Setback (ft)	Distance in feet (ft) principal building must be located from any street ROW including parks and other open space
Common Lot Setback (ft)	Distance in feet (ft) any building must be located from any common lot line
Alley Setback (ft)	Distance in feet (ft) any building must be located from any alley edge of pavement

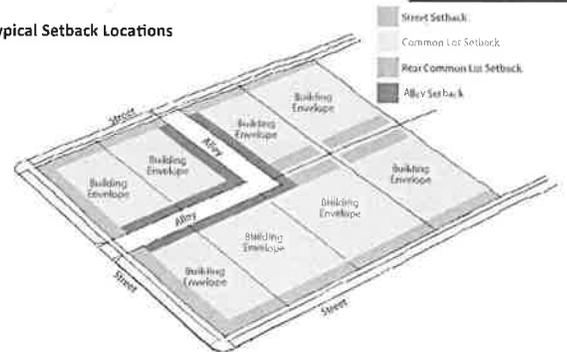
BUILDING FUNCTION

Residential	Type may be used for household living or group living use categories (including home offices)
Lodging	Type may be used for transient accommodation use category
Office	Type may be used for medical facilities or office use categories
Retail	Type may be used for restaurants, retail sales/service, self-service storage, or vehicle sales/service use categories
Civic	Type may be used for community service, educational facilities, government facilities, passenger terminals, places of worship, social services institutions, indoor recreation, clubhouse, or outdoor recreation use categories
Other	Type may be used for agriculture, utilities, water-oriented, flex space, light industrial service, warehouse and freight movement, waste-related services, wholesale trade, or heavy industrial use categories

Note: Overhangs and Projections

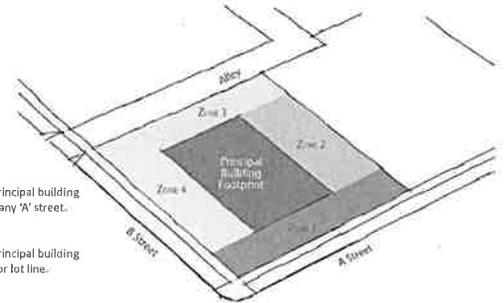
Where a 0 ft setback is utilized, easements on adjacent lots (similar to 0 lot line criteria) will be provided for building maintenance of roof overhangs and building projections.

Typical Setback Locations



Alleys may be utilized to provide vehicular access to the rear of buildings, however they are an optional, not required, approach to street design. Driveway cuts shall be allowed in the absence of alleys.

Parking and Driveway Locations*



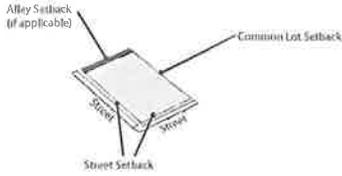
- ZONE 1**
Lot area between the principal building and the right-of-way of any 'A' street.
- ZONE 2**
Lot area between the principal building and any common interior lot line.
- ZONE 3**
Lot area between the principal building and any rear lot line.
- ZONE 4**
Lot area between the principal building and the right-of-way of any 'B' street.

For lots within Mew development blocks utilizing a 5' garage to alley setback, homes shall provide a separate parking space to accommodate guests, service vehicles and other similar uses. Such spaces shall be a minimum of 9' x 18' and may be paved, gravel or otherwise stabilized as necessary to accommodate typical service vehicles.

Block Standards

Civic Building Lot

Typical Setback Locations



Example Building Massing



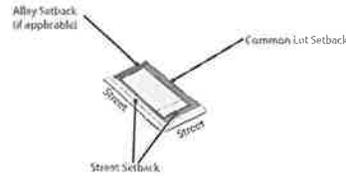
Illustrative Building Placement



LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	24	-
Lot Depth (ft)	60	-
Lot Size (sq ft)	1,680	-
Lot Coverage (%)	-	90
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	-
Common Lot Setback (ft)	0	-
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5	-
[Alley Setbacks >5' but <20' not allowed]		
PARKING AND DRIVEWAY		
Location	Zone 2, 3, and 4	
BUILDING FUNCTION		
Residential	NA	
Lodging	NA	
Office	NA	
Retail	NA	
Civic	■	
Other	NA	

House Lot

Typical Setback Locations



Example Building Massing



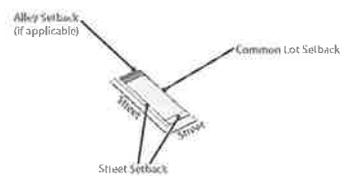
Illustrative Building Placement



LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	24	-
Lot Depth (ft)	60	-
Lot Size (sq ft)	1,680	-
Lot Coverage (%)	-	65
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	5	-
Common Lot Setback (ft)	5	-
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	5	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5	25
[Alley Setbacks >5' but <20' not allowed]		
PARKING AND DRIVEWAY		
Location	Zone 1, 2, 3, and 4	
BUILDING FUNCTION		
Residential	■	
Lodging	■	
Office	■	
Retail	■	
Civic	NA	
Other	NA	

Townhouse Lot

Typical Setback Locations



Example Building Massing



Illustrative Building Placement



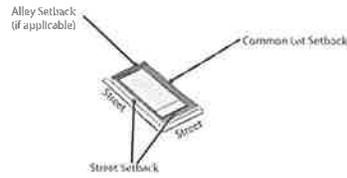
LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	16	-
Lot Depth (ft)	60	-
Lot Size (sq ft)	1,200	-
Lot Coverage (%)	-	95
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	10
Common Lot Setback (ft)	0*	-
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5	25
[Alley Setbacks >5' but <20' not allowed]		
PARKING AND DRIVEWAY		
Location	Zone 1 and 3	
BUILDING FUNCTION		
Residential	■	
Lodging	■	
Office	■	
Retail	■	
Civic	■	
Other	NA	

■ Allowed
 NA - Not Allowed
 * 10' Building separation required

Building Lot Types

House Lot - Zero Lot Line

Typical Setback Locations



Example Building Massing



Illustrative Building Placement



LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	35	-
Lot Depth (ft)	90	-
Lot Size (sf)	3,150	-
Lot Coverage (%)	-	65
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	5	-
Common Lot Setback (ft)	0	-
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	5	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5	25
(Alley Setbacks >5' but <20' not allowed)		
PARKING AND DRIVEWAY		
Location	Zone 1, 2, 3, and 4	
BUILDING FUNCTION		
Residential		■
*Lodging		NA
**Office		NA
**Retail		NA
Civic		NA
Other		NA

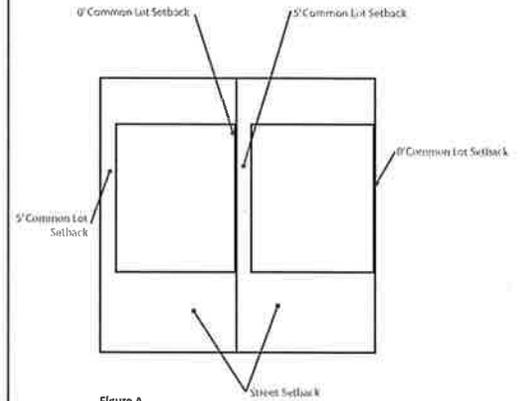


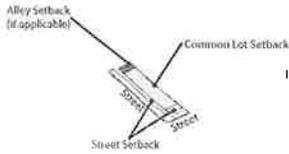
Figure A
N.T.S.

■ - Allowed
 NA - Not Allowed
 * Building lot coverage exclusive of driveways, walks, etc.

(1) Lots with a 0' common lot setback on one side yard lot line shall provide a 5' common lot side yard setback on the opposite lot line. See Figure A, this sheet.
 (2) The zero (0) foot side yard will not be adjacent to another lot's zero (0) foot side yard.

Live/Work Building Lot

Typical Setback Locations



Illustrative Building Placement



Example Building Massing



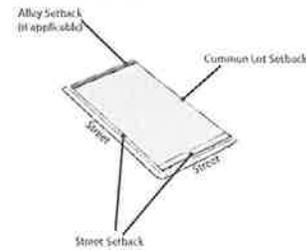
Live/Work Building lots shall be designated as such as part of the site plan submittal. Non-residential uses such as office and retail are allowed but not required within Live/Work Buildings. Live/Work Units shall be considered residential dwelling units. Because of their unique, dynamic and changing nature associated non-residential uses shall not be counted against non-residential square footage entitlements as shown on the Viera DHP/UD Development Program. Prior to the site plan approval of any Live/Work Building Lots, additional regulations for Live/Work Buildings shall be approved as a minor amendment and incorporated as an attachment to the Town Center District Alternative Development Standards. The minor amendment shall, as a minimum, address the following items as they relate to Live/Work units:

- Permitted uses and/or occupancies for live/work units
- Allowable uses with conditions and prohibited uses
- Occupancy criteria for live/work units
- The range of sizes of residential and commercial uses within each live/work unit.
- Location criteria for live/work units within the Town Center project limits
- Physical location of residential uses and commercial uses (i.e. stacked, to the side or rear)
- Parking criteria for live/work units, including on-site, off-site and on-street parking criteria.
- Signage for commercial uses
- External access requirements for the commercial uses and relationship of the access to public streets.
- Outline any specific review and approval requirements for building permits for Live/Work Units

LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	16	-
Lot Depth (ft)	80	-
Lot Size (sf)	1,800	-
Lot Coverage (%)	-	80
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	10
Common Lot Setback (ft)	0	-
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5 ^A	25
(Alley Setbacks >5' but <20' not allowed)		
PARKING AND DRIVEWAY	Location Zone 2,3, and common area	
BUILDING FUNCTION	Residential	■
	Lodging	NA
	Office	■
	Retail	■
	Civic	NA
	Other	NA

Hotel / Motel / Apartment / Office / Retail / Mixed-Use Building Lot

Typical Setback Locations



Example Building Massing



Illustrative Building Placement



LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	16	-
Lot Depth (ft)	80	-
Lot Size (sf)	1,800	-
Lot Coverage (%)	-	90
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	0	10
Common Lot Setback (ft)	0	10 ^A
Park or Open Space Setback (ft)	7.5	-
Rear Common Lot Setback (ft)	15	-
Alley Setback (ft)	5	-
ACCESSORY BUILDING ENVELOPE*	MIN	MAX
Street Setback (ft)	0	-
Common Lot Setback (ft)	0	-
Alley Setback (ft)	5 ^A	25
(Alley Setbacks >5' but <20' not allowed)		

Outdoor Seating
Recognizing that seating areas facilitating outdoor socializing, dining, and entertainment will enhance and promote the unique open-air atmosphere contemplated for the retail and entertainment land uses within the Central Viera PUD, outdoor areas for seating and food and beverage service incidental to the operation of adjoining restaurants, cafes, etc., shall be permitted. Due to the temporary and seasonal nature of outdoor seating, their square footage shall not be calculated as part of the total square footage of any associated use. The inclusion of this square footage from calculations into the total square footage of allocated usage is unrelated to occupancy, square footage and/or seating calculations as may be required by the Fire Prevention Department. The criteria shown within this detail shall apply to hotel, motel, apartment, office, retail, mixed use, civic, institutional and other uses allowed within Parcel 4A of the Central Viera PUD.

PARKING AND DRIVEWAY	Location Zone 2,3, and common area	
BUILDING FUNCTION		NOTE(S)
Residential	■*	if setback is 0', buildings must be constructed with a 3-hour firewall
Lodging	■	
Office	■	* Only permitted for Apartment Building
Retail	■	
Civic	■	
Other	■	

■ - Allowed
NA - Not Allowed
* 10' Building separation required

REVISED JANUARY 2016 (REMOVED APARTMENT HOUSE LOT DETAIL) MINOR MODIFICATION #5
REVISED NOVEMBER 2016 (HOTEL / MOTEL USE) MINOR MODIFICATION #7

Building Lot Types

General Requirements

Design, Parking and Loading Requirements

Notwithstanding any contrary provision of Section 62-3206 of the County Land Development Regulations, the design of streets, roads, alleys, parking spaces and their associated driveways and maneuvering areas located within the Town Center District shall utilize the dimensions and other design criteria set forth in the Town Center District Alternative Development Standards.

Off street parking and off street loading, delivery and trash collection areas, facilities and spaces may be located upon or constitute a part of any private or public street, or road located within the Town Center District for the purpose of complying with the parking and loading requirements of Section 62-3206 of the County Land Development Regulations. Dumpster enclosures and trash pick-up areas, except for single-family uses and other uses where on-street collection is permitted, shall not be located in public ROW.

Specific parking or loading areas for service, delivery or trash collection vehicles shall not be required with respect to the Town Center District and the use of private or public streets, roads and alleys by service, delivery or trash collection vehicles shall be in accordance with rules adopted and imposed by the property owners' association or CDD having maintenance jurisdiction for the maintenance of safe traffic control and flow. The use of such streets, roads and alleys for service, delivery or trash collection shall be restricted so that no more than 20% of these activities are permitted to occur after 11:00 AM.

The requirements of Section 62-3206 of the County Land Development Regulations with respect to minimum driveway and loading areas, loading and maneuvering standards, and parking loading area criteria shall not apply to uses within the Town Center District so long as the applicable project's or development's final development plan accommodates service, delivery and trash collection vehicles in a manner which is reviewed and approved by Brevard County through the plan review and approval process.

Parking area requirements for specific land uses shall be as required by current Brevard County regulations or as specifically identified within these Alternative Development Standards unless the applicant prepares and submits alternative parking space requirements to Brevard County for review and approval. Alternative parking space data may be submitted as part of a shared parking study or as part of a separate submittal addressing parking space criteria for the variety of uses within the Town Center area.

The Alternative Design Standards (ADS) contained herein are intended to also provide for the required fire and emergency apparatus access as determined by the Fire Marshal and for consistency with the requirements of the applicable portions of the Florida Fire Prevention Code. Any site or subdivision proposal which deviates from the ADS or includes conditions or designs which are not addressed within the ADS shall be subject to further review and approval by Brevard County Fire Rescue Department.

Alcoholic Beverages for On-premises Consumption

Notwithstanding any contrary provision of Section 62-1906 of the County Land Development Regulations, no conditional use permit shall be required for the on-premises sale, serving or consumption of alcoholic beverages in any non-residential use (including any associated outdoor seating area) located within the Town Center District. On-premise consumption of alcoholic beverages shall not be allowed within 300 feet of pre-existing churches or schools.

Site Lighting

Due to the compact and urban form of development proposed within portions of the Town Center (Parcel 4A), it is anticipated that strict conformance with Brevard County's Performance Standards for Lighting (Sec. 62-2257 Lighting Standards), including, but not limited to measurement of lighting limits at property lines could result in decreased levels of service and functionality. Site Lighting concepts for each development area will be presented at Site Plan submittal which will address the overall goals expressed in the County's Performance Standards. All future development within each Site Plan or Subdivision Plan will be required to conform to the Site Lighting concepts presented and approved within each individual Site Plan.

Shared Parking Standards

Upon submittal and approval of a shared parking study, a reduction in the number of required parking spaces for multiple and mixed use projects and for uses that are in close proximity to one another and which have different peak parking demands and operating hours. Shared parking shall be subject to the following standards:

- a. **Application**
A shared parking study shall be submitted in a form consistent with Urban Land Institute or American Planning Association guidelines. A shared parking study will be initiated by the applicant if development proposals request any reduction in the required parking other than those permitted within Section 62-2306 of the Brevard County Land Development Code or as specifically identified within these Alternative Development Standards.
- b. **Location**
All uses which participate in a shared parking plan shall be located within the same block or on contiguous blocks.
- c. **Shared Parking Study**
The shared parking study shall clearly establish the uses that will use the shared spaces at different times of the day, week, month or year. The study shall:
 - 1) be based on the Urban Land Institute (ULI) or the American Planning Association (APA) methodology for determining shared parking, or other generally accepted methodology;
 - 2) be submitted to Brevard County for review and approval in conjunction with the first site plan or subdivision plan that relies on shared parking to meet the required parking criteria;
 - 3) address the size and type of activities, the composition of tenants, the rate of turnover for proposed shared spaces, and the anticipated peak parking and traffic demands;
 - 4) provide for no reduction in the number of required handicapped spaces;
 - 5) Address how on-street parking is incorporated into the overall parking requirements or allocated to adjacent uses;
 - 6) Provide supporting data for the feasibility of the uses to share parking due to their particular peak parking and trip generation characteristics.
- d. **Shared Parking Agreement**
A shared parking plan shall be enforced through written agreement or through covenants and deed restriction documents. The agreement shall be recorded in the Public Records of Brevard County by the owner/developer prior to issuance of a certificate of occupancy. The agreement shall:
 - 1) list the names and ownership interest of all parties to the agreement and contain the signatures of those parties;
 - 2) provide a legal description of the land;
 - 3) include a site plan showing the area of the parking parcel and open space reserved areas which would provide for future parking;
 - 4) describe the area of the parking parcel and designate and reserve it for shared parking unencumbered by any conditions which would interfere with its use;
 - 5) agree and expressly declare the intent for the covenant to run with the land and bind all parties and all successors in interest to the covenant;
 - 6) assure the continued availability of the spaces for joint use and provide assurance that all spaces will be usable without change to all participating uses;
 - 7) describe the obligations of each party, including the maintenance responsibility to retain the develop reserved open space for additional parking spaces if the need arises;
 - 8) incorporate the shared parking study by reference;
 - 9) describe the method by which the covenant shall, if necessary, be revised.
- e. **Change in Use**
Should any of the uses in the shared parking study change, or if any of the conditions described in the approved shared parking study or agreement no longer exist, the owner of record shall have the option of submitting a revised shared parking study in accordance with the standards of this Section or of providing the number of spaces required for each use as if computed separately.

Off-Site Parking

The Viera Town Center may contain surface or structured parking areas that are not contained within a specific development site and therefore do not serve a specific development. Site plans presented must demonstrate the following:

In order for a site in the Town Center District to utilize off-site parking spaces on a lot separate from the lot on which the principal use is located to meet the required number of parking spaces under the Land Development Regulations, the following must be demonstrated at the time of Site Plan review:

- Off-site parking spaces must be located within a ¼ mile radius of the site
- ADA compliant parking spaces must be provided in the required amount and in the required proximity (notwithstanding the location of property lines) to the site
- Off-site parking spaces must not be separated from the site by Stadium Parkway, Lake Andrew Drive or Judge Fran Jamieson Way
- Pedestrian routes between the site and the separate lot and means of installation commensurate with construction of the building and be completed prior to the issuance of the Certificate of Occupancy for the building generating the parking demand.
- Authorization to use the spaces in the separate lot if under separate ownership with a chart tracking the number of available spaces
- Location of sign on the separate lot indicating the use(s)/site(s) it serves and sign located on site(s) served indicating location of the off-site parking lot

Parking Requirements – Condominiums, townhome and apartment complexes

- a. The minimum number of parking spaces required shall be 1.5 spaces per residential unit for development within the Town Center District.
- b. Parking spaces within adjacent public or private road right-of-ways of the Town Center District, may be used to meet the required minimum number of spaces if they meet the following criteria:
 - 1) Parking spaces shall be designed and constructed to the minimum dimensional criteria as outlined in Sec. 67.3206 of the Brevard County Code or as may be outlined within the Parcel 4A Alternative Development Standards.
 - 2) Parking spaces shall be within sections of the right-of-way directly adjacent to the project's boundary, separated only by sidewalks or landscape areas.
 - 3) No more than 20% of the total required parking can be provided within adjacent public or private road rights-of-way.

Development Standards

Overall

- a. Incorporation of public space(s) into the core portion of the Town Center (Town Center Park)
- b. All buildings and primary building entrances to be oriented to the street frontage to reinforce pedestrian-oriented character
- c. Block sizes shall range between 250-750 depending on use and as identified on Sheet 10
- d. Setbacks shall be as identified on Sheets 11 and 12

Street Frontage

- a. For blocks which contain primarily commercial or mixed use buildings, parking lots shall not front any "A" street. Parking lots may front the side or rear streets of these blocks.
- b. Parking lots must be setback a minimum of 5' from the street R/W and be screened with a 2' to 4' high wall or landscape hedge.

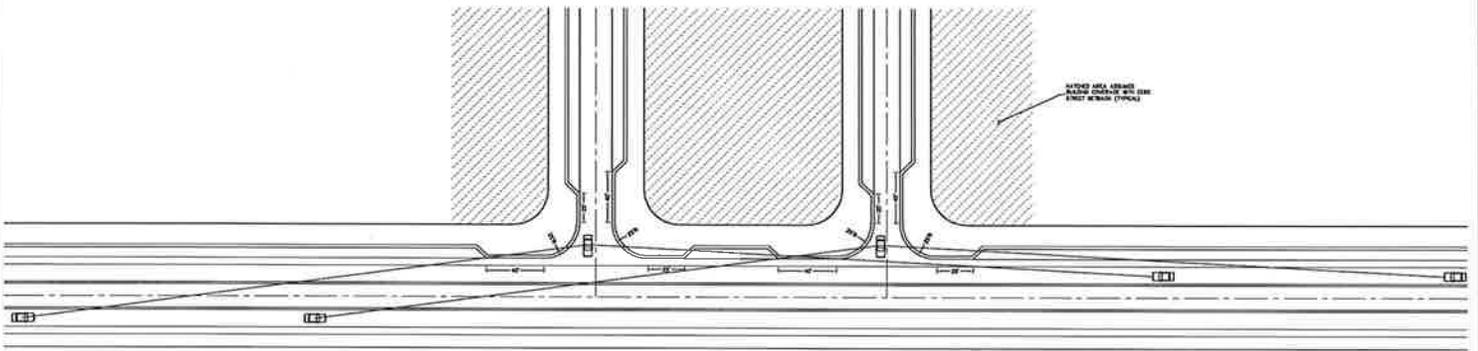
Building Heights

- a. A variety of building heights can occur within a block.
- b. **Maximum height shall be a 110 feet.**
- c. Minimum height – A minimum 20' high cornice line shall be established for all buildings. One story buildings shall have a 15' minimum floor to ceiling height, except for detached garages and maintenance building heights which may be less than 15'.

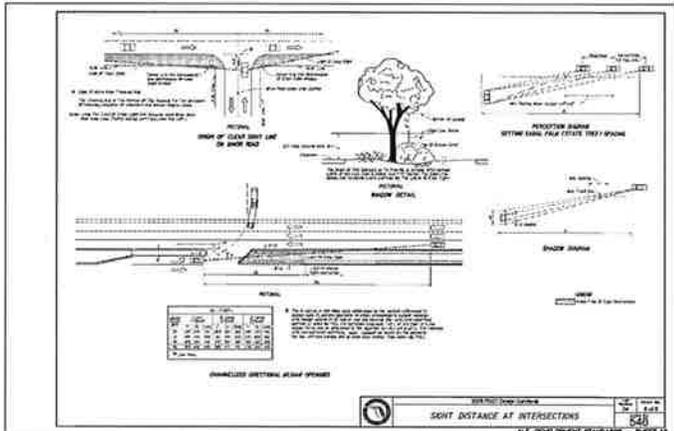
Development Standards

TYPICAL AVENUE/COMMERCIAL STREET INTERSECTION
SCALE 1" = 30'

TYPICAL AVENUE/STANDARD (WITH PARKING) STREET INTERSECTION
SCALE 1" = 30'



- 1) This exhibit is not intended to represent any particular development scenario, but the minimum sight triangle dimensions shown are based on the assumptions listed below. It is the responsibility of the engineer to determine the appropriate sight triangle dimensions for the specific site and to adjust the dimensions as needed to meet the requirements of the applicable code or standard.
- 2) Details of the exhibit (shown 1:1) demonstrate that the minimum sight triangle dimensions shown are based on the assumptions listed below. It is the responsibility of the engineer to determine the appropriate sight triangle dimensions for the specific site and to adjust the dimensions as needed to meet the requirements of the applicable code or standard.
- 3) Lane width, parking, median, tree base and other features shown within these exhibits are typical and not necessarily representative of any particular site. It is the responsibility of the engineer to determine the appropriate sight triangle dimensions for the specific site and to adjust the dimensions as needed to meet the requirements of the applicable code or standard.
- 4) Sight triangles shown within this exhibit are not applicable for any situation not shown within this exhibit.



REVISION	DATE	BY	CHKD
1	01/15/20	JK	JK
2	01/15/20	JK	JK
3	01/15/20	JK	JK

VIERA TOWN CENTER
PARCEL 4A

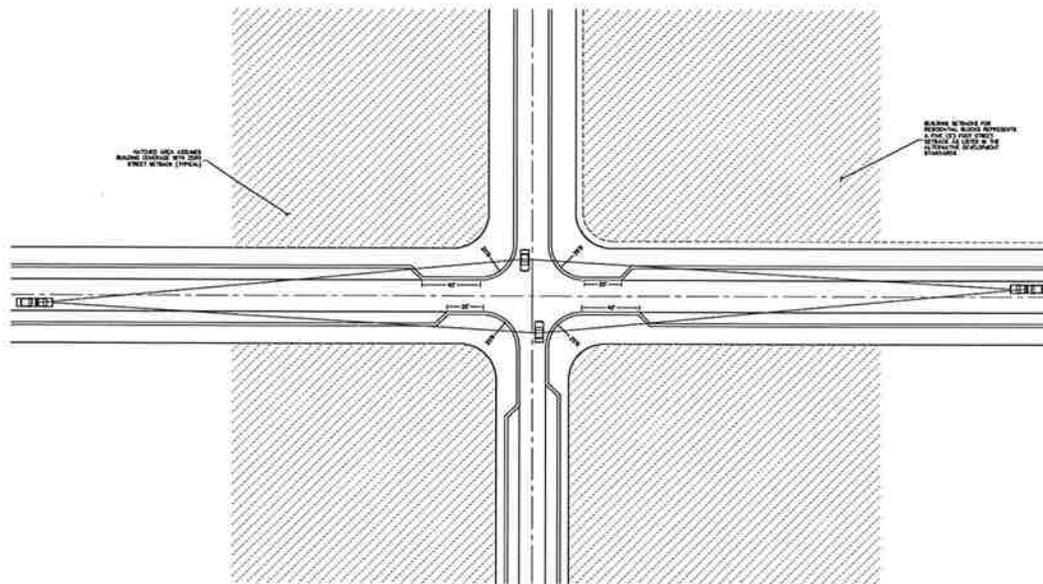
B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
MELBOURNE, FLORIDA 32901 PHONE: (321) 725-1074 FAX: (321) 723-1138
E-MAIL: info@bse.com WEBSITE: www.bse.com

SIGHT TRIANGLE EXHIBIT #1

PROJECT NO.	10407-24
DATE	01/15/20
SCALE	AS SHOWN
SHEET NO.	1 OF 5

TYPICAL COMMERCIAL/STANDARD STREET
(WITH NO. PARKING) STREET INTERSECTION

Scale: 1" = 30'



TYPICAL COMMERCIAL/STANDARD STREET
(WITH PARKING) STREET INTERSECTION

Scale: 1" = 30'

REVISION	
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VIERA TOWN CENTER
PARCEL 4A



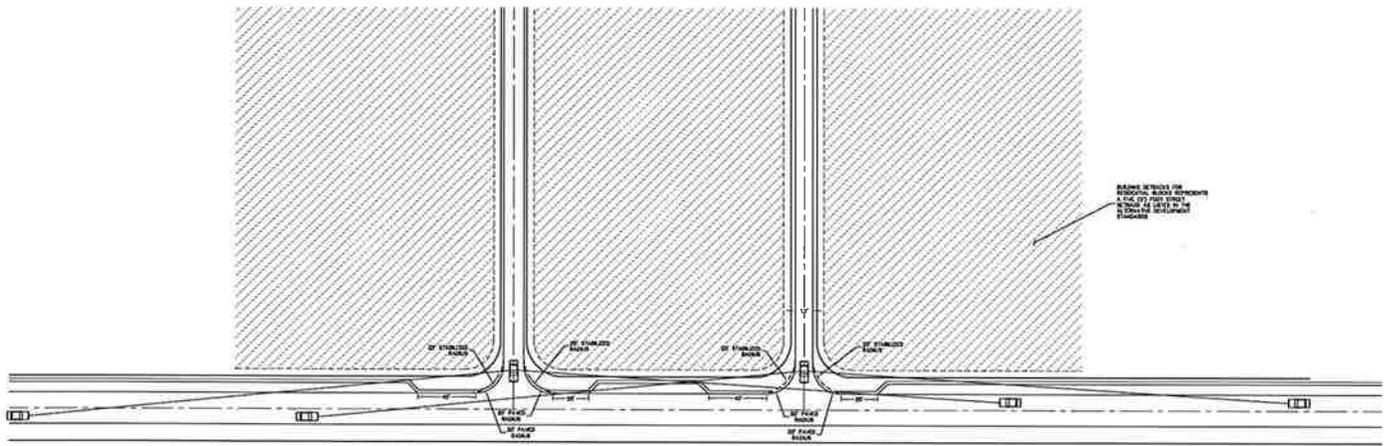
B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
MELBOURNE, FLORIDA 32901 PHONE: (321) 775-3452 FAX: (321) 725-1128
OFFICE OF THE FEDERAL GOVERNMENT SURVEYORS AND
ENGINEERS AND SURVEYING ENGINEERS - LICENSED



SIGHT TRIANGLE EXHIBIT #3

ALL DEVELOPMENT STANDARDS - SHEET 17

ISSUED BY	
DATE	08/21/14 08:11:00
PROJECT	2 OF 5
PROJECT NO.	
10407.54	



TYPICAL 14' WIDE ALLEY/RESIDENTIAL STREET INTERSECTION
ROAD 7' - 8'

TYPICAL 12' WIDE ALLEY/RESIDENTIAL STREET INTERSECTION
ROAD 7' - 8'

1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE SPECIFIED.
 2. ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.
 3. ALL ANGLES ARE IN DEGREES AND DECIMALS THEREOF UNLESS OTHERWISE SPECIFIED.
 4. ALL CURVES ARE TO BE PARABOLIC UNLESS OTHERWISE SPECIFIED.
 5. ALL GRADES ARE TO BE IN PERCENT UNLESS OTHERWISE SPECIFIED.
 6. ALL ELEVATIONS ARE TO BE IN FEET UNLESS OTHERWISE SPECIFIED.
 7. ALL SIGHT TRIANGLES ARE TO BE DEVELOPED AS SHOWN UNLESS OTHERWISE SPECIFIED.
 8. ALL SIGHT TRIANGLES ARE TO BE DEVELOPED AS SHOWN UNLESS OTHERWISE SPECIFIED.
 9. ALL SIGHT TRIANGLES ARE TO BE DEVELOPED AS SHOWN UNLESS OTHERWISE SPECIFIED.
 10. ALL SIGHT TRIANGLES ARE TO BE DEVELOPED AS SHOWN UNLESS OTHERWISE SPECIFIED.

DATE	BY	CHKD
10/12/20	JK	JK
10/12/20	JK	JK
10/12/20	JK	JK

VIERA TOWN CENTER
PARCEL 4A



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 312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
 VERO BEACH, FLORIDA 33408 PH: 888-725-1874 FAX: 888-725-1138
 OFFICE OF ARCHITECTURE, ENGINEERING AND SURVEYING
 OFFICE OF LAND SURVEYING AND ENGINEERING REGISTRATION



SIGHT TRIANGLE EXHIBIT #4

PROJECT NO.	10487-24
SHEET NO.	4 OF 5
DATE	10/12/20

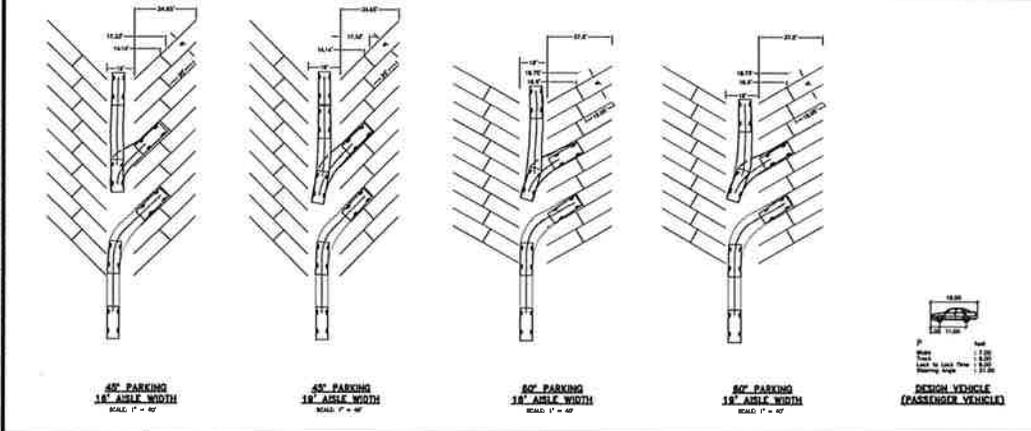
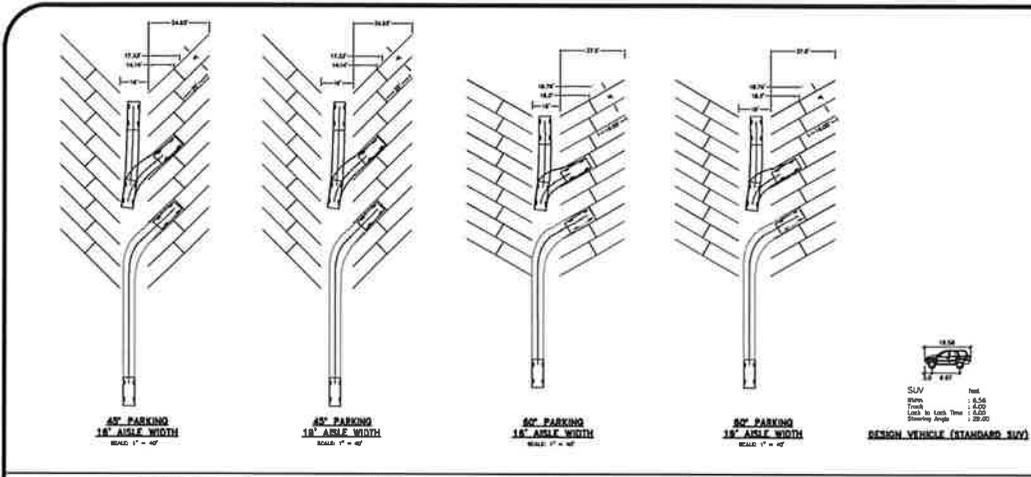


Table A19.3 Required Parking Dimensions

Angle of Parking	Stair Width	Vehicle Dimensions	Area	Number	Capacity	Total Area	Total Cost
90°	10'	10' x 6'	60	1	60	600	30
45°	10'	10' x 6'	85	1	85	850	42.5
30°	10'	10' x 6'	115	1	115	1150	57.5
15°	10'	10' x 6'	155	1	155	1550	77.5
90°	12'	12' x 6'	72	1	72	720	36
45°	12'	12' x 6'	100	1	100	1000	50
30°	12'	12' x 6'	135	1	135	1350	67.5
15°	12'	12' x 6'	180	1	180	1800	90
90°	14'	14' x 6'	84	1	84	840	42
45°	14'	14' x 6'	115	1	115	1150	57.5
30°	14'	14' x 6'	155	1	155	1550	77.5
15°	14'	14' x 6'	210	1	210	2100	105
90°	16'	16' x 6'	96	1	96	960	48
45°	16'	16' x 6'	135	1	135	1350	67.5
30°	16'	16' x 6'	180	1	180	1800	90
15°	16'	16' x 6'	240	1	240	2400	120

NOTES:

1. AND 2. FIT TO BEAL WITH SPACE ADJACENT TO WALL, CURB AND OTHER OBSTRUCTIONS TO DOOR OPENING AND TURNING MOVEMENT.
3. 90° STALLS SHALL BE USED.
4. ANGLES OF PARKING BETWEEN 15 AND 30 DEGREES NOT PERMITTED.
5. DIMENSIONS SHALL BE INTERPOLATED FOR ANGLES BETWEEN 45 AND 75.
6. ALL DIMENSIONS SHOWN TO THE NEAREST FOOT.
7. AREA AND CAPACITY VALUES ARE FOR 200-WAY TRAFFIC FLOW FOR 60 DEGREE PARKING AND ONE-WAY TRAFFIC FLOW FOR ANGLED PARKING BETWEEN 15 AND 75 DEGREES.
8. FOR 200-WAY TRAFFIC FLOW AND 60 DEGREE PARKING, A MINIMUM 8 FT CLEAR IS REQUIRED FOR PARALLEL PARKING BEHIND A TRUCK-BAY SPACE, A MINIMUM 10 FT IS REQUIRED.

Chapter: Part 1 Page 1

DESIGN, PLANNING AND URBAN DESIGN
PLANNING, DESIGN AND CONSTRUCTION

DATE: 12/14/2010

BY: [Signature]

COUNTY COMMENTS: 12/14/2010

DATE: 12/14/2010

BY: [Signature]

DATE: 12/14/2010

BY: [Signature]

VIERA TOWN CENTER
PARCEL 4A

B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING

312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
MELBOURNE, FLORIDA 32901 PHONE: (321) 276-2616 FAX: (321) 276-1118

MEMBER OF THE NATIONAL ASSOCIATION OF PROFESSIONAL ENGINEERS
MEMBER OF THE NATIONAL ASSOCIATION OF LAND SURVEYORS

DRIVE AISLE WIDTH FOR
ANGLED PARKING

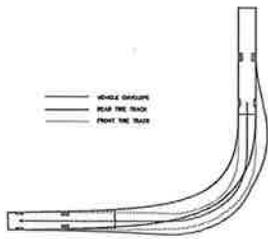
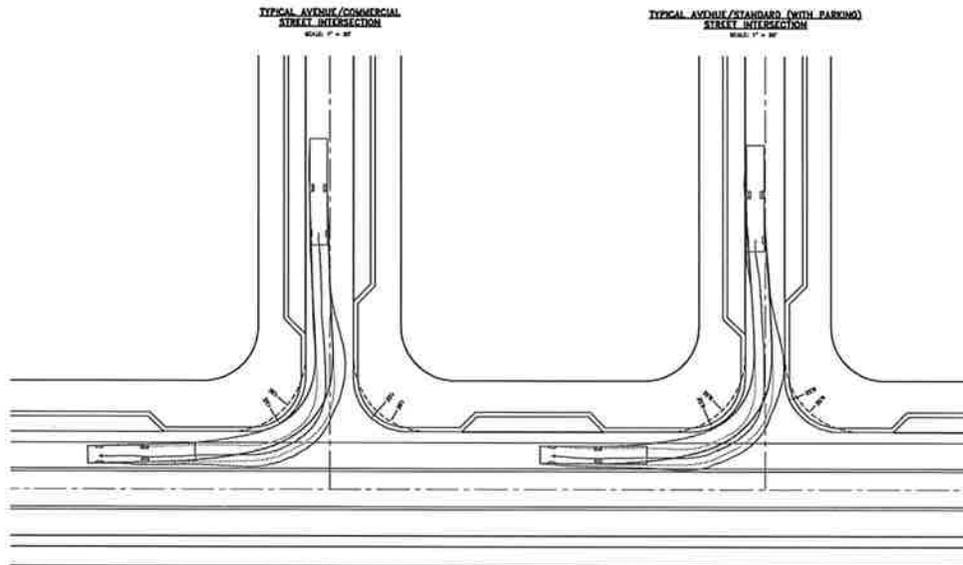
ALY DEVELOPMENT STANDARDS - SHEET 20

PROJECT NO. 15427.3A_003_000

DATE: 12/14/2010

OF 1

15427.3A



FIRE TRUCK
 Length 30.00
 Wheelbase 10.00
 Front Overhang 5.00
 Rear Overhang 15.00

DESIGN VEHICLE

LEGEND

A.I.C. DEVELOPMENT STANDARDS - SHEET 21

DATE	DESCRIPTION
10/12/08	REVISED
08/12/08	REVISED
07/12/08	REVISED
06/12/08	REVISED
05/12/08	REVISED
04/12/08	REVISED
03/12/08	REVISED
02/12/08	REVISED
01/12/08	REVISED

VIERA TOWN CENTER
 PARCEL 4A



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 312 SOUTH HARRISON CITY BOULEVARD, SUITE 4
 WELLSBORO, FLORIDA 32986 PHONE: (888) 452-2674 FAX: (772) 723-1138
 SERVICE TO PUBLIC THROUGH PROFESSIONAL SKILL
 CERTIFICATE OF LAND SURVEYING REGISTRATION LICENSE

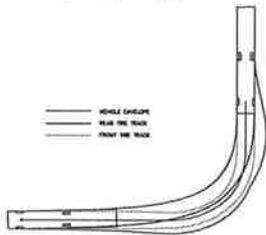
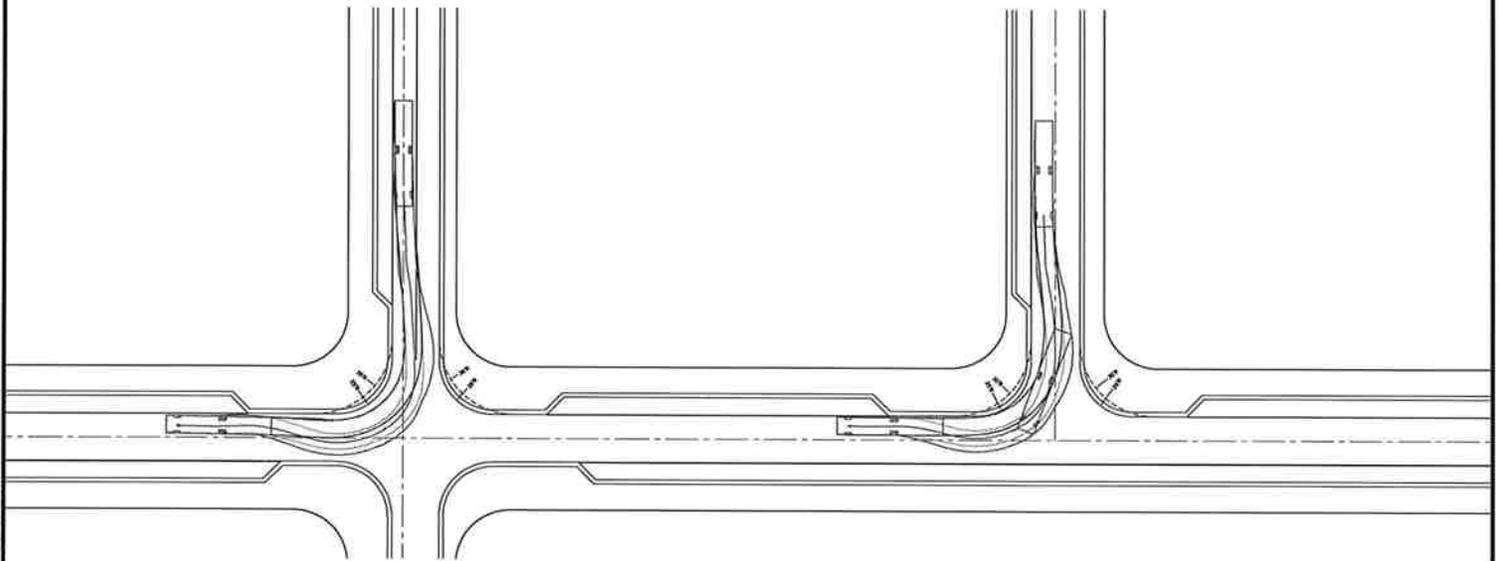


AUTOTURN EXHIBITS

PROJECT NO.	1040734_201_203
SHEET	1 OF 4
PROJECT IN	1040734

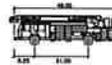
TYPICAL COMMERCIAL DRIVE
STREET INTERSECTION
Road: P = 30'

TYPICAL COMMERCIAL/RESIDENTIAL
STREET INTERSECTION
Road: P = 30'



——— VEHICLE ENVELOPE
——— ROAD ONE TRACK
——— ROAD TWO TRACK

LEADER



FIRE TRUCK
Wheel: 8.85
Body: 11.30
Rear Overhang: 8.85
Total Length: 28.00
Turning Angle: 7.5170

DESIGN VEHICLE

DATE	DESCRIPTION
10/1/00	PROJECT START
10/1/00	PROJECT END
10/1/00	PROJECT STATUS
10/1/00	PROJECT LOCATION
10/1/00	PROJECT CLIENT
10/1/00	PROJECT CONTACT
10/1/00	PROJECT PHONE
10/1/00	PROJECT FAX
10/1/00	PROJECT EMAIL

VIERA TOWN CENTER
PARCEL 4A



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OFFICES: 10000 UNIVERSITY AVENUE, SUITE 200
ORLANDO, FLORIDA 32817 PHONE: (407) 261-1111 FAX: (407) 261-1112

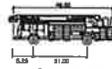
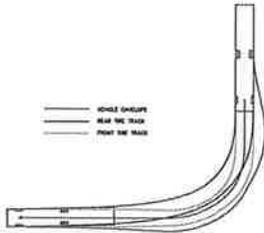
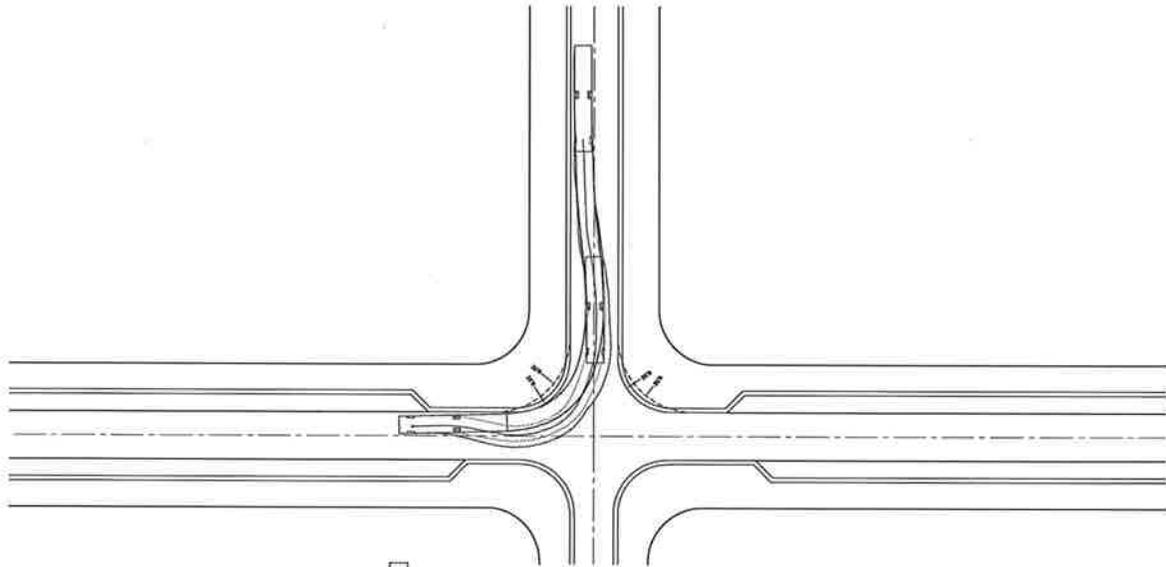


AUTOTURN EXHIBITS

ALL DEVELOPMENT STANDARDS - SHEET 23

DATE	DESCRIPTION
10/1/00	PROJECT START
10/1/00	PROJECT END
10/1/00	PROJECT STATUS
10/1/00	PROJECT LOCATION
10/1/00	PROJECT CLIENT
10/1/00	PROJECT CONTACT
10/1/00	PROJECT PHONE
10/1/00	PROJECT FAX
10/1/00	PROJECT EMAIL

TYPICAL COMMERCIAL/STANDARD STREET
 WITH NO PARKING STREET INTERSECTION
 ROAD 1" = 80'



DESIGN VEHICLE

APPROVED	
COUNTY COMMENTS	12/11/20
DATE	12/11/20
DESIGNER	12/11/20
CHECKER	12/11/20
DATE	12/11/20

VIERA TOWN CENTER
 PARCEL 4A



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 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
 MELBOURNE, FLORIDA 32901 PHONE: (321) 725-2614 FAX: (321) 725-1138
 DIVISION OF PROFESSIONAL CONSULTING SERVICES
 OFFICE OF LAND SURVEYING AND MAPPING DIVISION LICENSE NO. 10487.34

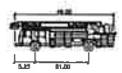
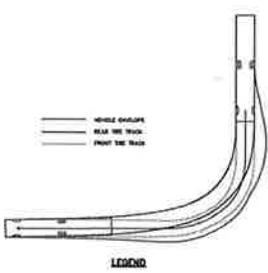
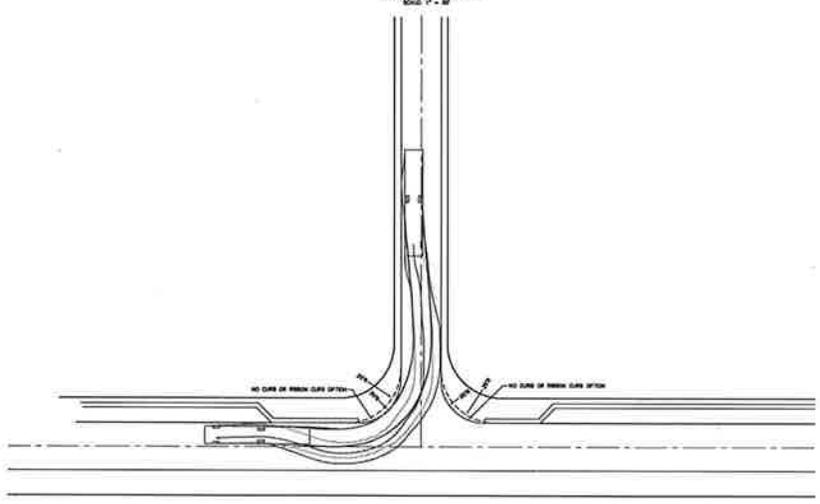


AUTOTURN EXHIBITS

ALL DEVELOPMENT STANDARDS - SHEET 23

PROJECT NO.
 10487.34

TYPICAL 18' WIDE ALLEY/RESIDENTIAL STREET INTERSECTION
SCALE: 1" = 30'



FIRE TRUCK
 Wheel: 6'00"
 Trail: 1'00"
 Load to Lash: 1'00"
 Steerway Angle: ± 21.70°

DESIGN VEHICLE

DATE	
BY	
CHECKED	
APPROVED	
SCALE	

**VIERA TOWN CENTER
 PARCEL 4A**



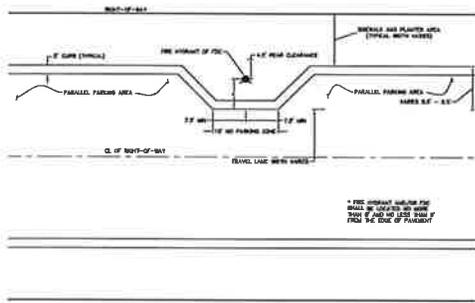
B.S.E. CONSULTANTS, INC.
 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 4
 WELLSVILLE, FLORIDA 32981 - PHONE: (385) 770-0815 FAX: (385) 770-0816
 DIVISION OF PROFESSIONAL SERVICES, INC. (DPS)



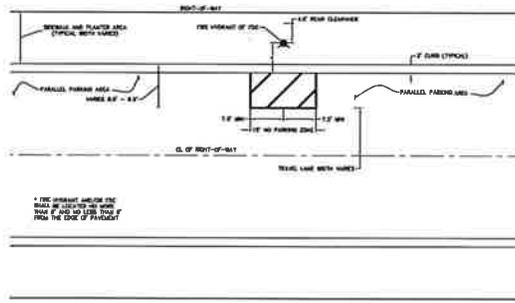
AUTOTURN EXHIBITS

ALL DEVELOPMENT STANDARDS - SHEET 24

PROJECT NO.	10467.34
DRAWING NO.	10467.34_003_003
DATE	8.27.04
PROJECT NO.	10467.34



HYDRANT WITHIN ISLAND
SCALE: 1" = 10'



HYDRANT WITHIN STREET PAVEMENT AREA
SCALE: 1" = 10'

- NOTES:
1. FIRE HYDRANTS PROVIDED WITH OTHER SERVICES SHALL BE AS PER REQUIREMENTS WITH WHICH COUNTY FIRE AGENCY IS IN COMPLIANCE.
 2. LANDSCAPING SHALL NOT OBSTRUCT (PHYSICALLY OR VISUALLY) FIRE HYDRANTS.
 3. FIRE HYDRANTS TO BE INSTALLED WITH STEEL CONNECTION BETWEEN 24" - 30" ABOVE THE PARKING SURFACE.

REVISION	DATE	BY	CHKD

VIERA TOWN CENTER
PARCEL 4A



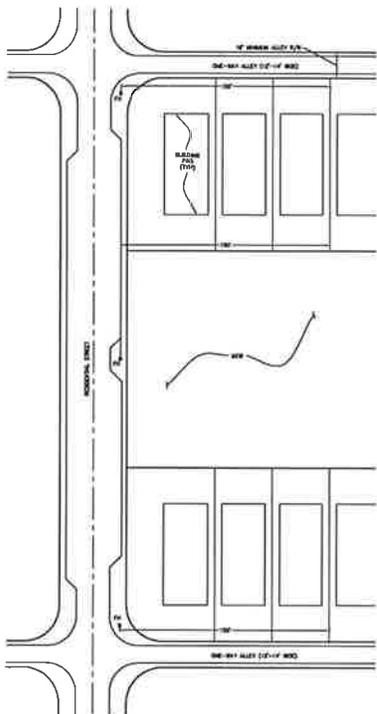
B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
372 SOUTH HARBOR CITY BOULEVARD, SUITE 4
MELBOURNE, FLORIDA 32901 - PHONE: (321) 328-1874 FAX: (321) 323-1158
MEMBER OF THE PROFESSIONAL SURVEYORS ASSOCIATION OF FLORIDA
MEMBER OF THE FLORIDA ENGINEERING BOARD OF PROFESSIONAL ENGINEERS



TYPICAL FIRE HYDRANT LOCATION WITHIN
STREETS WITH ON-STREET PARKING

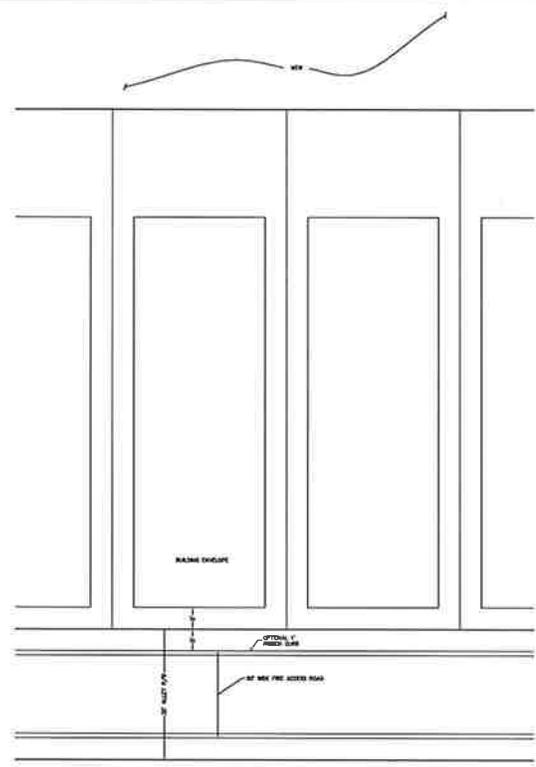
ALL DEVELOPMENT STANDARDS - SHEET 23

ISSUANCE NO.
200704_003_004
DATE
11-09-11
PROJECT NO.
30427.34



NEW BLOCK WITHOUT 20' ACCESS ROAD

NOTES:
 1. FOR FDOT 2007 EDITION, THIS EXISTING SIDEWALK REQUIREMENT IS NEW SPACING FOR 40' WIDE SIDE (2X) WIDTH OF THE ROAD FOR THE ACCESS ROAD.
 2. MIN. CLEARANCE OVER OBSTRUCTIONS IS 14.5:1.5.
 3. BASED UPON THIS DETAIL, ALL NEW BLOCKS WITH EXISTING SIDE ALLEYS TO BE VERIFIED FROM 5/8" TO 1/2"



NEW BLOCK WITH 20' ACCESS ROAD

ALT. DEVELOPMENT STANDARDS - SHEET 28

DATE	DESCRIPTION
11/11/09	ISSUED FOR PERMIT

**VIERA TOWN CENTER
 PARCEL 4A**

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**MINIMUM ALLEY R/W REQUIREMENTS FOR
 ALLEYS WITHIN MEW BLOCKS**

PROJECT NO.	10457-34
DATE	11/11/09
SHEET NO.	1 OF 1
SCALE	AS SHOWN